

KCN

SURVEYOR'S OFFICE
Hamilton County

Kenton C. Ward, CFM
 Surveyor of Hamilton County
 Phone (317) 776-8495
 Fax (317) 776-9628

Suite 188
 One Hamilton County Square
 Noblesville, Indiana 46060-2230

April 5, 2017

To: Hamilton County Drainage Board

Re: Vermillion Drain, The Village at Flat Fork, Sec. 2 Arm

Attached is a petition filed by North Connecticut Development Corporation, along with a non-enforcement request, plans, calculations, and quantity summary for the Vermillion Drain, The Village at Flat Fork, Sec. 2 Arm to be located in Fall Creek Township. I have reviewed the submittals and petition and have found each to be in proper form.

I have made a personal inspection of the land described in the petition. Upon doing so, I believe that the drain is practicable, will improve the public health, benefit a public highway, and be of public utility and that the costs, damages and expenses of the proposed drain will probably be less than the benefits accruing to the owners of land likely to be benefited. As per the plans by Weihe Engineers, Project No. W16.0073, the drain will consist of the following new lengths:

12" RCP	41 ft.	21" RCP	93 ft.
15" RCP	78 ft.	6" SSD	1,715 ft.
18" RCP	266 ft.		

The total length of the newly installed drain will be 2,193 feet.

The subsurface drains (SSD) to be part of the regulated drain are those located under the curbs and those main lines in rear yards. Only the main SSD lines which are located within the easement or right of way are to be maintained as regulated drain. Laterals for individual lots will not be considered part of the regulated drain.

The water quality unit located at lot 51 is not to be considered part of the regulated drain. The maintenance of the water quality unit will be the responsibility of the Homeowners Association.

I have reviewed the plans and believe the drain will benefit each lot equally. Therefore, I recommend each lot be assessed equally. I also believe that no damages will result to landowners by the construction

of this drain. I recommend a maintenance assessment of \$65.00 per platted lot, \$10.00 per acre for common areas, with a \$65.00 minimum, and \$10.00 per acre for roadways. With this assessment the total annual assessment for this drain for Section 2 will be \$1,679.20.

The petitioner has submitted surety for the proposed drain at this time. The sureties which are in the form of Letters of Credit from the developer are as follows:

Agent: Standard Financial Corporation
Date: February 3, 2017
Number: 1260VFF2
For: Storm Sewers
Amount: \$116,701.20
HCDB-2017-00012

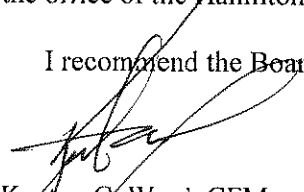
Agent: Standard Financial Corporation
Date: February 3, 2017
Number: 1261VFF2
For: Erosion Control
Amount: \$15,432.72
HCDB-2017-00013

Agent: Standard Financial Corporation
Date: February 3, 2017
Number: 1262VFF2
For: Monumentation
Amount: \$3,066.00
HCDB-2017-00014

I believe this proposed drain meets the requirements for Urban Drain Classification as set out in IC 36-9-27-67 to 69. Therefore, this drain shall be designated as an Urban Drain.

I recommend that upon approval of the above proposed drain that the Board also approve the attached non-enforcement request. The request will be for the reduction of the regulated drain easement to those easement widths as shown on the secondary plat for "The Village at Flat Fork, Sec. 2" upon recording in the office of the Hamilton County Recorder.

I recommend the Board set a hearing for this proposed drain for May 22, 2017.



Kenton C. Ward, CFM
Hamilton County Surveyor
KCW/stc

STATE OF INDIANA)
)
COUNTY OF HAMILTON)

FILED

APR 12 2016

TO: HAMILTON COUNTY DRAINAGE BOARD
% Hamilton County Surveyor
One Hamilton County Square, Suite 188
Noblesville, IN. 46060-2230

OFFICE OF HAMILTON COUNTY SURVEYOR

In the matter of The Village at Flat Fork Subdivision, Section
Two Drain Petition.

Petitioner is the owner of all lots in the land affected by the proposed new regulated drain. The drainage will affect various lots in The Village at Flat Fork - Section Two, a subdivision in Hamilton County, Indiana. The general route of such drainage shall be in existing easements and along public roads as shown in the plans on file in the Surveyor's Office.

Petitioner believes that the cost, damages and expenses of the proposed improvement will be less than the benefits which will result to the owners of the land likely to be benefited thereby. Petitioner believes the proposed improvements will:

- (a) improve public health
- (b) benefit a public street
- (c) be of public utility

Petitioner agrees to pay the cost of construction of the drainage system and requests periodic maintenance assessments by the Board thereafter.

The Petitioner also agrees to the following:

1. To provide the Drainage Board a Performance Bond or Non-Revocable Letter of Credit for the portion of the drainage system which will be made a regulated drain. The bond will be in the amount of 120% of the Engineer's estimate. The bond will be in effect until construction of 100% of the system is completed and so certified by the Engineer.
2. The Petitioner shall retain an Engineer throughout the construction phase. At completion of the project the Petitioner's Engineer shall certify that the drainage system which is to be maintained as a regulated drain has been constructed as per construction plans.
3. The Petitioner agrees to request in writing to the County Surveyor any changes from the approved plan and must receive written authorization from the County Surveyor prior to implementation of the change. All changes shall be documented and given to the Surveyor to be placed in the Drain file.
4. The Petitioner shall instruct his Engineer to provide a reproducible print on a 24" x 36" Mylar of the final design of the Drainage System. This shall be submitted to the County Surveyor prior to the release of the Performance Bond.
5. The Petitioner shall comply with the Erosion Control Plan as specified on the construction plans. Failure to comply with the Erosion Control Plan shall be determined by the Board as being an obstruction to the drainage system. The County Surveyor shall immediately install or repair the needed measures at Petitioners cost as per IC 36-9-27-46.

The Petitioner further requests that the Drain be classified as an Urban Drain as per IC 36-9-27-69(d).

RECORDED OWNER(S) OF LAND INVOLVED

Douglas B. Wagner, Sr. VP.
Signed

Signed

DOUGLAS B. WAGNER
Printed Name

Printed Name

APRIL 5, 2016
Date

Date

Signed

Signed

Printed Name

Printed Name

Date

Date

FINDINGS AND ORDER

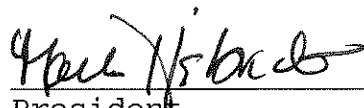
CONCERNING THE MAINTENANCE OF THE

Vermillion Drain,
The Village at Flat Fork Section 2 Arm


On this 22nd day of May, 2017, the Hamilton County Drainage Board has held a hearing on the Maintenance Report and Schedule of Assessments of the *Vermillion Drain, The Village at Flat Fork Section 2 Arm*.

Evidence has been heard. Objections were presented and considered. The Board then adopted the original/amended Schedule of Assessments. The Board now finds that the annual maintenance assessment will be less than the benefits to the landowners and issues this order declaring that this Maintenance Fund be established.

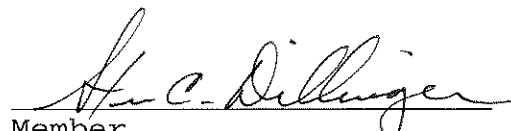
HAMILTON COUNTY DRAINAGE BOARD



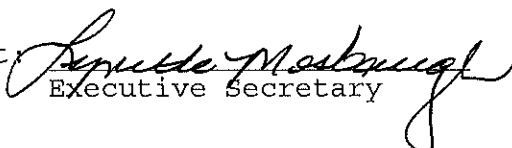
President



Member



Member

Attest: 
Executive Secretary



ENGINEER'S ESTIMATE OF PROBABLE COST

Project: The Village at Flat Fork - Section Two
W160060

OFFICE OF HAMILTON COUNTY SURVEYOR
Date: 1/11/2017

STORM SEWERS

	Quantity	Unit Price	Gross Price
Structures			
Large manholes	3	\$ 2,050.00	\$ 6,150.00
Standard Inlet	2	\$ 1,505.00	\$ 3,010.00
Double Curb Inlet	3	\$ 2,260.00	\$ 6,780.00
Castling Neenah R-3501 (curb inlet)	8	\$ 395.00	\$ 3,160.00
Castling Neenah R-1772 (Solid Lid)	3	\$ 400.00	\$ 1,200.00
Tons of stone Bedding (#8)	140	\$ 20.00	\$ 2,800.00
Tons of stone Backfill (#53)	350	\$ 13.50	\$ 4,725.00
Tons of Rip Rap	10	\$ 45.00	\$ 450.00
Lot connections (4" underdrain)	24	\$ 125.00	\$ 3,000.00
Linear feet of underdrain (6")	1,717	\$ 9.00	\$ 15,453.00
AS6 Aquaswirl Offline unit	1	\$ 33,770.00	\$ 33,770.00

Qty	Measurement	Size	Material	Unit Price	Gross Price
41	Linear feet of	12"	RCP	\$ 22.00	\$ 902.00
81	Linear feet of	15"	RCP	\$ 26.00	\$ 2,108.00
266	Linear feet of	18"	RCP	\$ 28.00	\$ 7,448.00
98	Linear feet of	21"	RCP	\$ 34.00	\$ 3,332.00
0	Linear feet of	24"	RCP	\$ -	\$ -
0	Linear feet of	27"	RCP	\$ -	\$ -
0	Linear feet of	30"	RCP	\$ -	\$ -
486	Televise Storm		LF	\$ 2.50	\$ 1,215.00
0	End Sections of	12"	RCP	\$ -	\$ -
0	End Sections of	15"	RCP	\$ -	\$ -
0	End Sections of	18"	RCP	\$ -	\$ -
1	End Sections of	21"	RCP	\$ 1,750.00	\$ 1,750.00
0	End Sections of	24"	RCP	\$ -	\$ -
0	End Sections of	30"	RCP	\$ -	\$ -
STORM SEWER TOTAL:					\$ 97,251.00

EROSION CONTROL

	Quantity	Unit Price	Gross Price
Seeding			
Acres of temp. seed & mulch	3.00	\$ 1,100.00	\$ 3,300.00
Square yards of permanent seed and straw mulch	6,435	\$ 0.36	\$ 2,316.60
Square yards of erosion control blanket w/ permanent seed)	0	\$ 1.05	\$ -
Construction Entrance	1	\$ 3,300.00	\$ 3,300.00
Other			
Linear feet of silt fencing	2,480	\$ 1.05	\$ 2,604.00
Drop Inlet Protection	0	\$ 90.00	\$ -
Curb Inlet Protection	5	\$ 168.00	\$ 840.00
Misc.			
Concrete Washout	1	\$ 500.00	\$ 500.00
Silt Fence Inlet Protection (Open Area)	0	\$ -	\$ -
EROSION CONTROL TOTAL:			\$ 12,860.60

MONUMENTATION

	Quantity	Unit Price	Gross Price
Misc.			
Rebar Street Control	4	\$ 50.00	\$ 200.00
4x4 Concrete Monuments	2	\$ 75.00	\$ 150.00
Property Corners	63	\$ 35.00	\$ 2,205.00
EROSION CONTROL TOTAL:			\$ 2,555.00

SUMMARY

	Total	Performance Guarantee	Maintenance Guarantee
	A	B = A X 120%	C = B X 20%
Storm Sewers	\$ 97,251.00	\$ 116,701.20	\$ 23,340.24
Erosion Control	\$ 12,860.60	\$ 15,432.72	\$ 3,086.54
Monumentation	\$ 2,555.00	\$ 3,066.00	\$ 613.20
	\$ 112,666.60	\$ 135,199.92	\$ 27,039.98

COMMENTS:

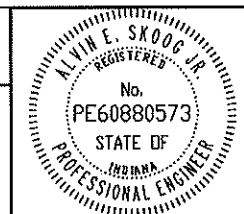
Bond Estimate Prepared by:

Signature: *Alvin E. Skoog, Jr.*

Printed Name: Alvin E. (Rusty) Skoog, Jr.

Title: Sr. Project Manager

Date: 11-Jan-17



February 3, 2017

HCD3-2017-00014
Irrevocable Letter of Credit No.: 1262VFF2

TO: Hamilton County Commissioners
1 Hamilton County Square, Suite 157
Noblesville, IN 46060

To Whom It May Concern:

We hereby authorize you to value on us for the account of:

Developer Name: North Connecticut Development Corporation
Developer Address: 3150 Republic Blvd. N, #3
Toledo, OH 43615

For a sum or sums in United States of America Dollars not to exceed the aggregate total of Three Thousand Sixty-Six and 00/100 Dollars (\$3,066.00) by your draft(s) at sight.

The purpose of this Letter of Credit is for the performance of the installation of monumentation in The Village at Flat Fork, Section 2.

The condition for payment of any drafts drawn against the Letter of Credit requires that the draft be accompanied by beneficiary's signed statement on Hamilton County letterhead stating that North Connecticut Development Corporation has not performed or complied with the terms of the construction plan requirements of said project. The statement must also outline the specific deficiencies in construction.

All drafts must be marked, "Drawn under Standard Financial Corporation Letter of Credit No. 1262VFF2".

This credit is subject, so far as applicable, to "The Uniform Customs and Practice for Documentary Credits (2007 Revision), International Chamber of Commerce Publication No. 600".

This Letter of Credit is effective as of February 3, 2017 and shall expire on February 3, 2018, but such expiration date shall be automatically extended for a period of one year on February 3, 2018, and on each successive expiration date, unless a release is received from the Hamilton County Commissioners or we notify both the Hamilton County Commissioners and North Connecticut Development Corporation by certified mail, at least ninety (90) days before the current expiration date, that we have decided not to extend this Letter of Credit beyond the

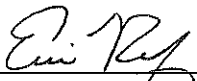


current expiration date. In the event of such notification by us, the credit established by this Letter shall be available to the Hamilton County Commissioners upon its sight draft or demand for payment for ninety (90) days after receipt of such notice by the Hamilton County Commissioners as shown on the signed return receipt.

We hereby agree with you that all drafts drawn under and in compliance with the terms of this credit shall be duly honored on due presentation to the main office of Standard Financial Corporation, 13578 E. 131st Street, Suite 200, Fishers, IN 46037.

Sincerely,

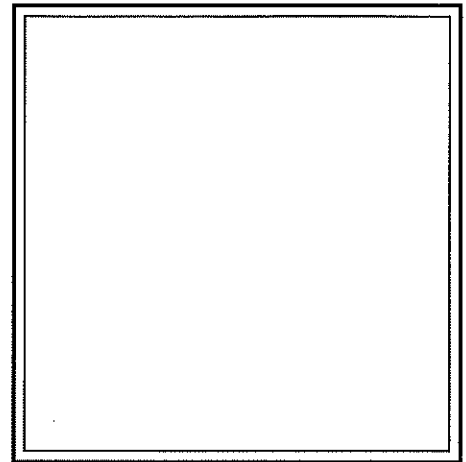
STANDARD FINANCIAL CORPORATION



Authorized Signature

Eric Roof, Treasurer

Name and Title



This Letter of Credit is not valid unless the seal of Standard Financial Corporation is affixed hereto.

FEB 10 2017

OFFICE OF HAMILTON COUNTY SURVEYOR

February 3, 2017

HCDB-2017-00013
Irrevocable Letter of Credit No.: 1261VFF2

TO: Hamilton County Commissioners
1 Hamilton County Square, Suite 157
Noblesville, IN 46060

To Whom It May Concern:

We hereby authorize you to value on us for the account of:

Developer Name: North Connecticut Development Corporation
Developer Address: 3150 Republic Blvd. N, #3
Toledo, OH 43615

For a sum or sums in United States of America Dollars not to exceed the aggregate total of Fifteen Thousand Four Hundred Thirty-Two and 72/100 Dollars (\$15,432.72) by your draft(s) at sight.

The purpose of this Letter of Credit is for the performance of the installation of erosion control in The Village at Flat Fork, Section 2.

The condition for payment of any drafts drawn against the Letter of Credit requires that the draft be accompanied by beneficiary's signed statement on Hamilton County letterhead stating that North Connecticut Development Corporation has not performed or complied with the terms of the construction plan requirements of said project. The statement must also outline the specific deficiencies in construction.

All drafts must be marked, "Drawn under Standard Financial Corporation Letter of Credit No. 1261VFF2".

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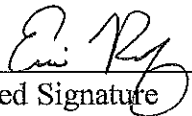


current expiration date. In the event of such notification by us, the credit established by this Letter shall be available to the Hamilton County Commissioners upon its sight draft or demand for payment for ninety (90) days after receipt of such notice by the Hamilton County Commissioners as shown on the signed return receipt.

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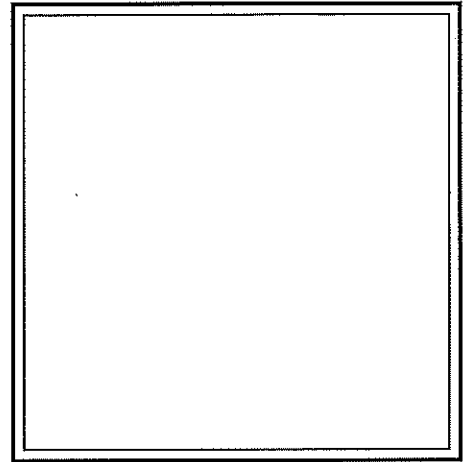
STANDARD FINANCIAL CORPORATION



Authorized Signature

Eric Roof, Treasurer

Name and Title



This Letter of Credit is not valid unless the seal of Standard Financial Corporation is affixed hereto.

February 3, 2017

HCDB-2017-00012
Irrevocable Letter of Credit No.: 1260VFF2

TO: Hamilton County Commissioners
1 Hamilton County Square, Suite 157
Noblesville, IN 46060

To Whom It May Concern:

We hereby authorize you to value on us for the account of:

Developer Name: North Connecticut Development Corporation
Developer Address: 3150 Republic Blvd. N, #3
Toledo, OH 43615

For a sum or sums in United States of America Dollars not to exceed the aggregate total of One Hundred Sixteen Thousand Seven Hundred One and 20/100 Dollars (\$116,701.20) by your draft(s) at sight.

The purpose of this Letter of Credit is for the performance of the installation of storm sewers in The Village at Flat Fork, Section 2.

The condition for payment of any drafts drawn against the Letter of Credit requires that the draft be accompanied by beneficiary's signed statement on Hamilton County letterhead stating that North Connecticut Development Corporation has not performed or complied with the terms of the construction plan requirements of said project. The statement must also outline the specific deficiencies in construction.

All drafts must be marked, "Drawn under Standard Financial Corporation Letter of Credit No. 1260VFF2".

This credit is subject, so far as applicable, to "The Uniform Customs and Practice for Documentary Credits (2007 Revision), International Chamber of Commerce Publication No. 600".

This Letter of Credit is effective as of February 3, 2017 and shall expire on February 3, 2018, but such expiration date shall be automatically extended for a period of one year on February 3, 2018, and on each successive expiration date, unless a release is received from the Hamilton County Commissioners or we notify both the Hamilton County Commissioners and North Connecticut Development Corporation by certified mail, at least ninety (90) days before the current expiration date, that we have decided not to extend this Letter of Credit beyond the



current expiration date. In the event of such notification by us, the credit established by this Letter shall be available to the Hamilton County Commissioners upon its sight draft or demand for payment for ninety (90) days after receipt of such notice by the Hamilton County Commissioners as shown on the signed return receipt.

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Sincerely,

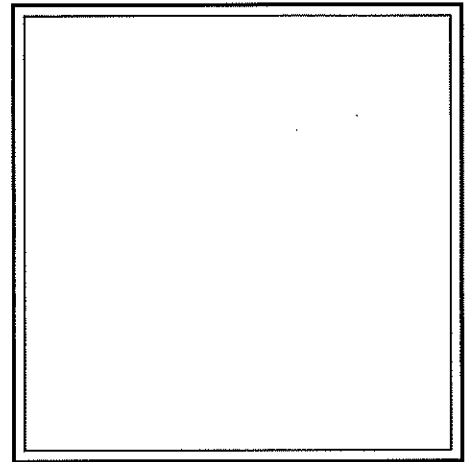
STANDARD FINANCIAL CORPORATION

A handwritten signature in dark ink, appearing to read 'Eric Roof', is written over a horizontal line.

Authorized Signature

Eric Roof, Treasurer

Name and Title



This Letter of Credit is not valid unless the seal of Standard Financial Corporation is affixed hereto.

BEFORE THE HAMILTON COUNTY DRAINAGE BOARD
IN THE MATTER OF

Vermillion Drain, The Village at Flat Fork Section 2 Arm

NOTICE

To Whom It May Concern and: _____

Notice is hereby given of the hearing of the Hamilton County Drainage Board on the **Vermillion Drain, The Village at Flat Fork Section 2 Arm** on **May 22, 2017 at 9:05 A.M.** in Commissioners Court, Hamilton County Judicial Center, One Hamilton County Square, Noblesville, Indiana, and which construction and maintenance reports of the Surveyor and the Schedule of Assessments made by the Drainage Board have been filed and are available for public inspection in the office of the Hamilton County Surveyor.

Hamilton County Drainage Board

Attest: Lynette Mosbaugh

ONE TIME ONLY

BEFORE THE HAMILTON COUNTY DRAINAGE BOARD
IN THE MATTER OF THE

Vermillion Drain,
The Village at Flat Fork Section 2 Arm

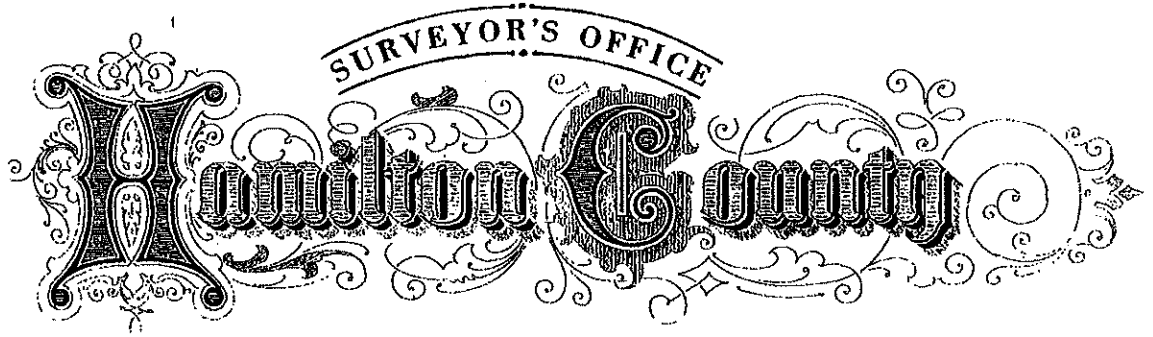
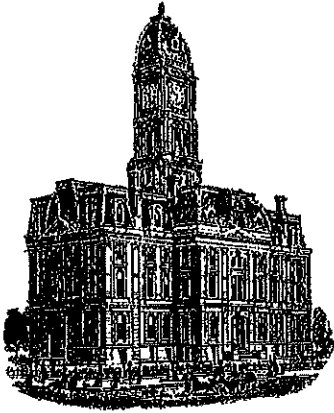
NOTICE

Notice is hereby given pursuant to Section 405 of the 1965 Indiana Drainage Code that this Board, prior to final adjournment on May 22 2017 has issued an order adopting the Schedule of Assessments, filed the same and made public announcement thereof at the hearing and ordered publication. If judicial review of the findings and order of the Board is not requested pursuant to Article Eight of this code within twenty (20) days from the date of this publication, the order shall be conclusive.

Hamilton County Drainage Board

Attest: Lynette Mosbaugh

ONE TIME ONLY



Kenton C. Ward, CFM
Surveyor of Hamilton County
Phone (317) 776-8495
Fax (317) 776-9628

Suite 188
One Hamilton County Square
Noblesville, Indiana 46060-2230

To: Hamilton County Drainage Board

July 19, 2018

Re: Vermillion drain: The Village at Flat Fork Sec. 2 Arm

Attached are as-built, certificate of completion & compliance, and other information for The Village at Flat Fork Sec. 2. An inspection of the drainage facilities for this section has been made and the facilities were found to be complete and acceptable.

During construction, changes were made to the drain, which will alter the plans submitted with my report for this drain-dated April 5, 2017. The report was approved by the Board at the hearing held May 22, 2017. (See Drainage Board Minutes Book 17, Pages 355-356) The changes are as follows: the 12" RCP was shortened from 41 feet to 39 feet. The 15" RCP was lengthened from 78 feet to 81 feet. The 18" RCP was lengthened from 266 feet to 268 feet. The 21" RCP was shortened from 93 feet to 85 feet. The 6" SSD was shortened from 1,715 feet to 1,709 feet. Therefore, due to the changes listed above the length is now **2,182 feet**.

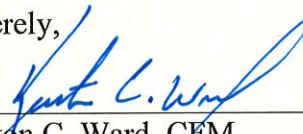
The non-enforcement was approved by the Board at its meeting on May 22, 2017 and recorded under instrument #2018008680.

The following sureties were guaranteed by Standard Financial Corp and released by the Board on its July 9, 2018 meeting.

Bond-LC No: 1260VFF2
Amount: \$116,701.20
For: Storm Sewers
Issue Date: February 3, 2017

I recommend the Board approve the drain's construction as complete and acceptable.

Sincerely,



Kenton C. Ward, CFM
Hamilton County Surveyor

FILED

NOV 16 2017

OFFICE OF HAMILTON COUNTY SURVEYOR

CERTIFICATE OF COMPLETION AND COMPLIANCE

To: Hamilton County Surveyor

Re: THE VILLAGE AT FLAT FORK SECTION 2

I hereby certify that:

1. I am a Registered Land Surveyor or Engineer in the State of Indiana.
2. I am familiar with the plans and specifications for the above referenced subdivision.
3. I have personally observed and supervised the completion of the drainage facilities for the above referenced subdivision.
4. The drainage facilities within the above referenced subdivision to the best of my knowledge, information and belief have been installed and completed in conformity with all plans and specifications.
5. The drainage facilities within the above referenced subdivision to the best of my knowledge, information and belief have been correctly represented on the Record Drawings, Digital Record Drawings and the Structure Data Spreadsheet.

Signature: JE Trtan Date: 11/15/2017

Type or Print Name: JOSEPH TRTAN

Business Address: 10505 NORTH COLLEGE AVENUE
INDIANAPOLIS, IN 46280

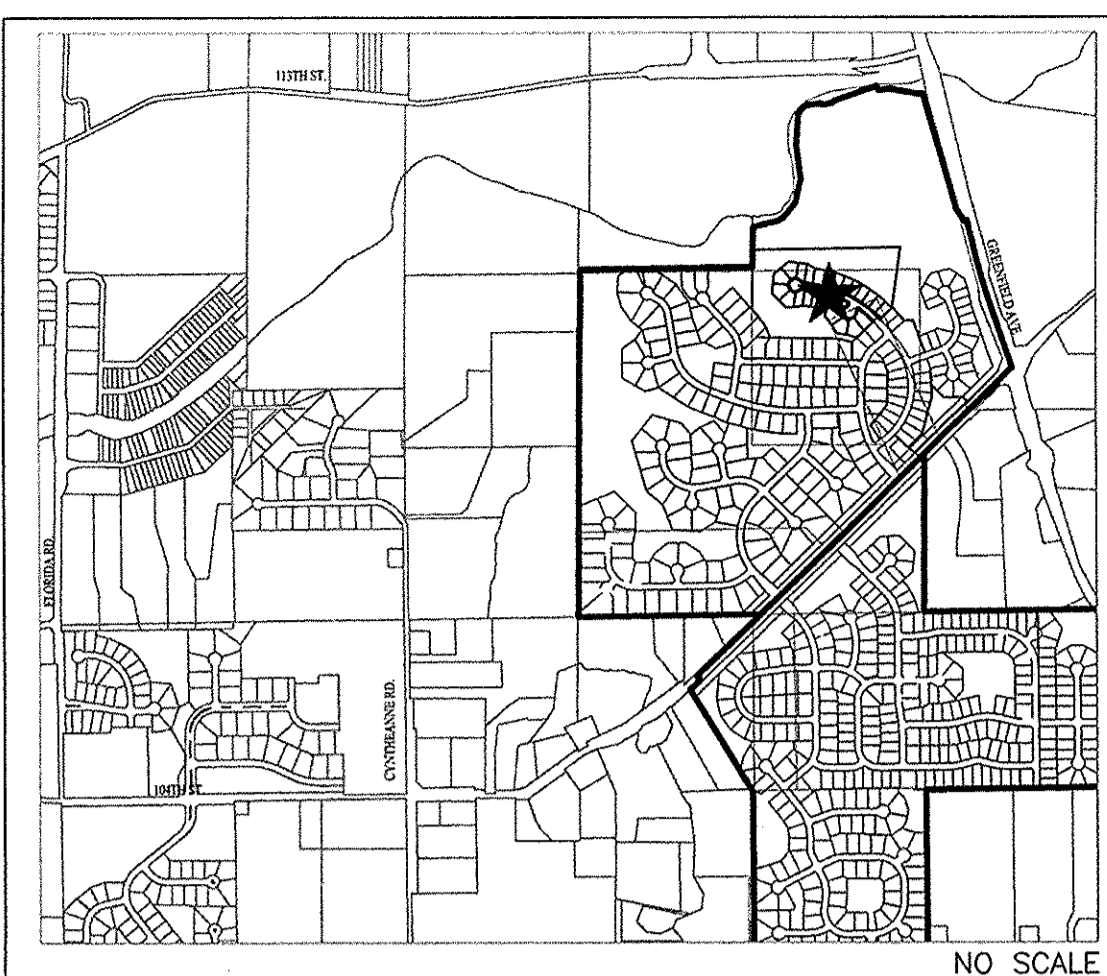
Telephone Number: 317-846-6611



INDIANA REGISTRATION NUMBER

LS21500003

RECORD CONSTRUCTION DRAWINGS **THE VILLAGE AT FLAT FORK** **SECTION TWO** FALL CREEK TOWNSHIP, FORTVILLE, IN 46040

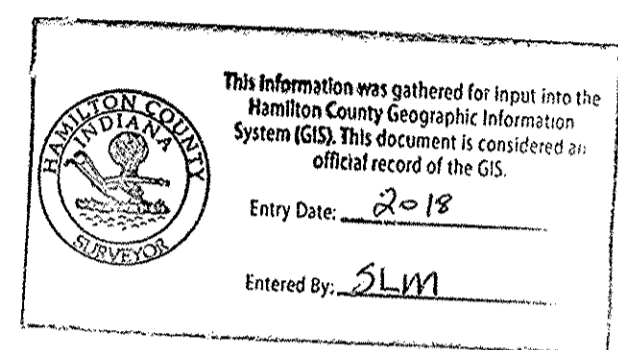


AREA LOCATION MAP
GENERAL NOTES

- 1) THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, OR VERIFYING THAT ALL PERMITS AND APPROVALS ARE OBTAINED FROM THE RESPECTIVE CITY, COUNTY, AND STATE AGENCIES PRIOR TO STARTING CONSTRUCTION.
- 2) IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES IN THE VICINITY OF THE CONSTRUCTION AREA PRIOR TO STARTING CONSTRUCTION
- 3) IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO NOTIFY AND COORDINATE CONSTRUCTION WITH ALL RESPECTIVE UTILITIES.
- 4) ALL QUANTITIES GIVEN ON THESE PRINTS ARE ESTIMATES AND SHALL BE CONFIRMED BY THE BIDDING CONTRACTORS.
- 5) OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS; FINAL RULE 29 CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH.
- 6) TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION TO CONFORM TO APPLICABLE LOCAL STANDARDS.
- 7) THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND METHODS ASSOCIATED WITH THE PROJECT.
- 8) ANY FIELD TILES ENCOUNTERED DURING EXCAVATION SHALL BE REPAIRED AND CONNECTED TO NEW STORM SEWERS AND POSITIVE DRAINAGE PRESERVED.
- 9) THE SITE DOES NOT LIE IN A SPECIAL FLOOD HAZARD AREA AS ESTABLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY - NATIONAL FLOOD INSURANCE PROGRAM, WHEN PLOTTED BY SCALE ON FLOOD INSURANCE RATE MAP #18057C0259G AND 18057C0278G, NOVEMBER 19, 2014.
- 10) BEARINGS, DIMENSIONS AND EASEMENTS ARE SHOWN FOR REFERENCE ONLY. SEE RECORD SURVEYS & PLAT FOR EXACT INFORMATION.
- 11) THIS SITE DOES CONTAIN WETLANDS AS SHOWN ON THE U.S. DEPARTMENT OF THE INTERIOR FISH AND WILDLIFE SERVICE; FORTVILLE, INDIANA, NATIONAL WETLANDS INVENTORY MAP. NO WETLANDS ARE IMPACTED BY THIS DEVELOPMENT.
- 12) DESIGN PROFESSIONAL CERTIFYING PLANS FOR THE PROJECT ACKNOWLEDGES THEIR PROFESSIONAL RESPONSIBILITY FOR ENSURING THAT ALL WORK IS CORRECT, ACCURATE AND COMPLIES WITH ALL APPROPRIATE LAWS, STANDARDS, REGULATIONS AND ORDINANCES. IF AN ERROR OR OMISSION IS FOUND, THE DESIGN PROFESSIONAL ACCEPTS FULL RESPONSIBILITY AND SHALL DETERMINE A SOLUTION THAT COMPLIES WITH ALL APPROPRIATE LAWS, STANDARDS, REGULATIONS AND ORDINANCES. IF AN ERROR OR OMISSION IS FOUND, THE DEVELOPER IS NOT RELIEVED OF COMPLYING WITH ALL APPROPRIATE LAWS, STANDARDS, REGULATIONS AND ORDINANCES.
- 13) ALL WATER MAIN, HYDRANTS, AND WATER VALVES SHALL BE INSPECTED AND SHALL COMPLY WITH BACKFILL BEDDING, AND THRUST BLOCK REQUIREMENTS PER FORTVILLE WATER DETAIL SHEETS.
- 14) THE DESIGN AND CONSTRUCTION SHALL COMPLY WITH ALL ADA REQUIREMENTS, SHALL BE PROWAG COMPLIANT AND MEET ALL CURRENT INDOT STANDARD SPECIFICATIONS.
- 15) A ROAD CUT WILL NOT BE PERMITTED FOR ANY UTILITY AFTER A PROOF ROLL HAS BEEN COMPLETED. PRIOR TO A PROOF ROLL, ANY UTILITY PLACED WITHIN THE LIMITS OF THE ROADWAY SHALL BE BACKFILLED WITH GRANULAR MATERIAL AND COMPACTED IN ACCORDANCE WITH STANDARD SPECIFICATIONS.

OPERATING AUTHORITIES:

FISHERS DEPARTMENT OF COMMUNITY DEVELOPMENT ONE MUNICIPAL DRIVE FISHERS, IN 46038 317-595-3120 ATTN: ADAM ZAKLIKOWSKI	FORTVILLE WATER 714 E. BROADWAY ST. FORTVILLE, IN 46040 317-485-4044 ATTN: JOE RENNER	HAMILTON COUNTY HIGHWAY DEPARTMENT 1700 S. 10TH STREET NOBLESVILLE, IN 46060 317-773-7770 ATTN: DAVID LUCAS
SAMCO/HSE UTILITIES 11901 LAKESIDE DRIVE FISHERS, IN 46038 317-577-1150 ATTN: THOMAS KALLIO	TRIAD ASSOCIATES 5835 LAWTON LOOP EAST DRIVE INDIANAPOLIS, IN 46216 317-377-5230 ATTN: DICK MOSIER	
NINESTAR CONNECT (POWER) 2243 EAST MAIN STREET GREENFIELD, IN 46140 317-323-2087 ATTN: JOHN SPLATTER	HAMILTON COUNTY SURVEYOR ONE HAMILTON COUNTY SQUARE, SUITE 188 NOBLESVILLE, INDIANA 46060 317-776-8495 ATTN: STEVE CASH	
VECTREN 16000 ALLISONVILLE ROAD NOBLESVILLE, IN 46061 317-776-5532 ATTN: JOANIE CLARK	COMCAST 5330 E. 65TH STREET INDIANAPOLIS, IN 46220 317-774-3384 ATTN: MATT STRINGER	
NINESTAR CONNECT (TELEPHONE) P.O. BOX 108 MAXWELL, IN 46154 317-323-2078 ATTN: GEORGE PLUSINKI	EMBARQ/CENTURY LINK 50 NORTH JACKSON STREET FRANKLIN, IN 46131 317-736-4863 ATTN: DAVID MEYERS	



BENCHMARK INFORMATION

SOURCE BENCHMARK
HSE 38
A BRONZE DISK STAMPED "HAMILTON COUNTY GEODETIC CONTROL" SET IN THE NORTH END OF THE EAST CONCRETE HANDRAIL ON THE BRIDGE OVER FALL CREEK ON SOUTHEASTERN PARKWAY SOUTH OF 1113TH STREET.
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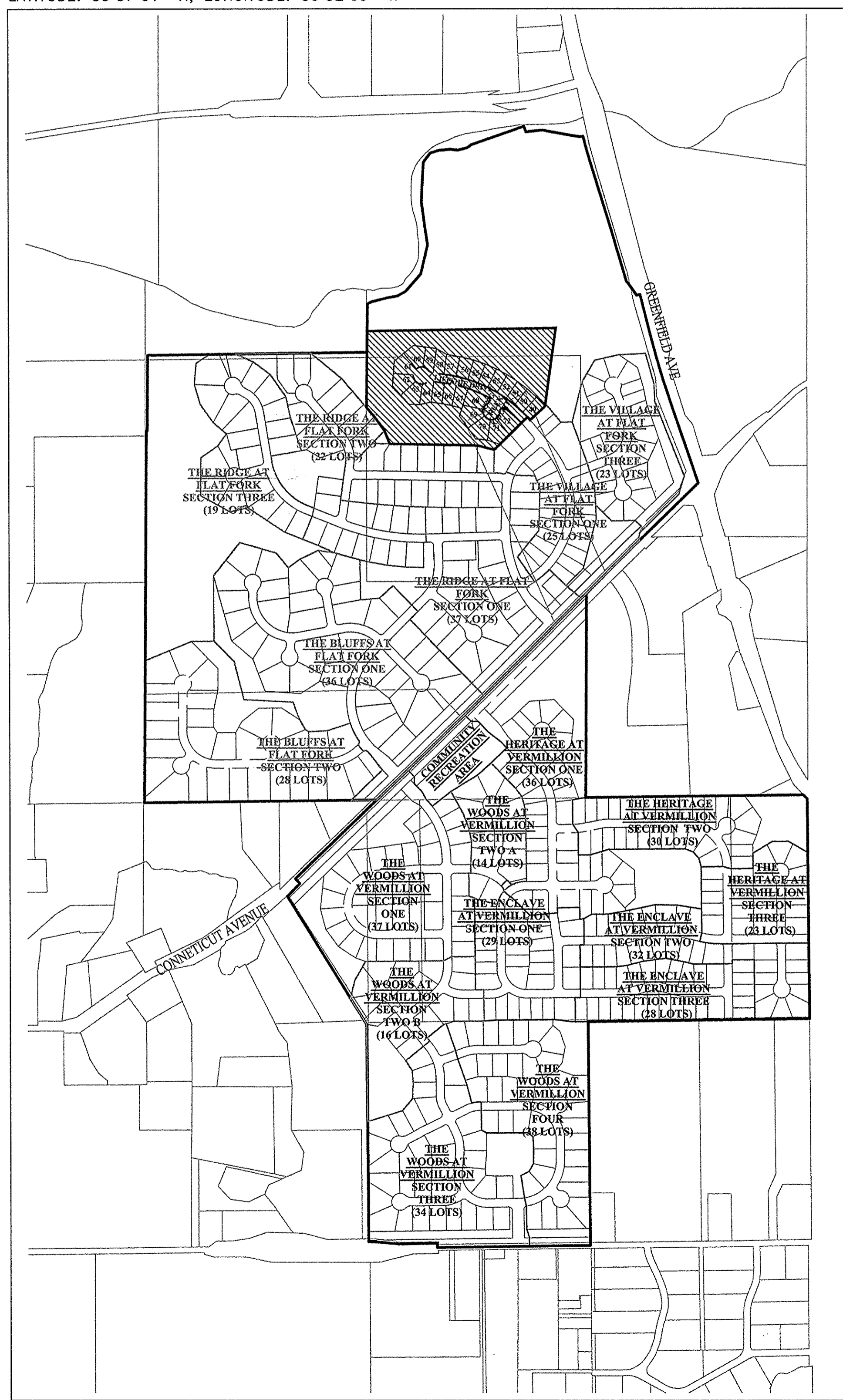
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E=273165
EL=864.60 (NAVD 88)

RECORD DRAWING
11/14/2017

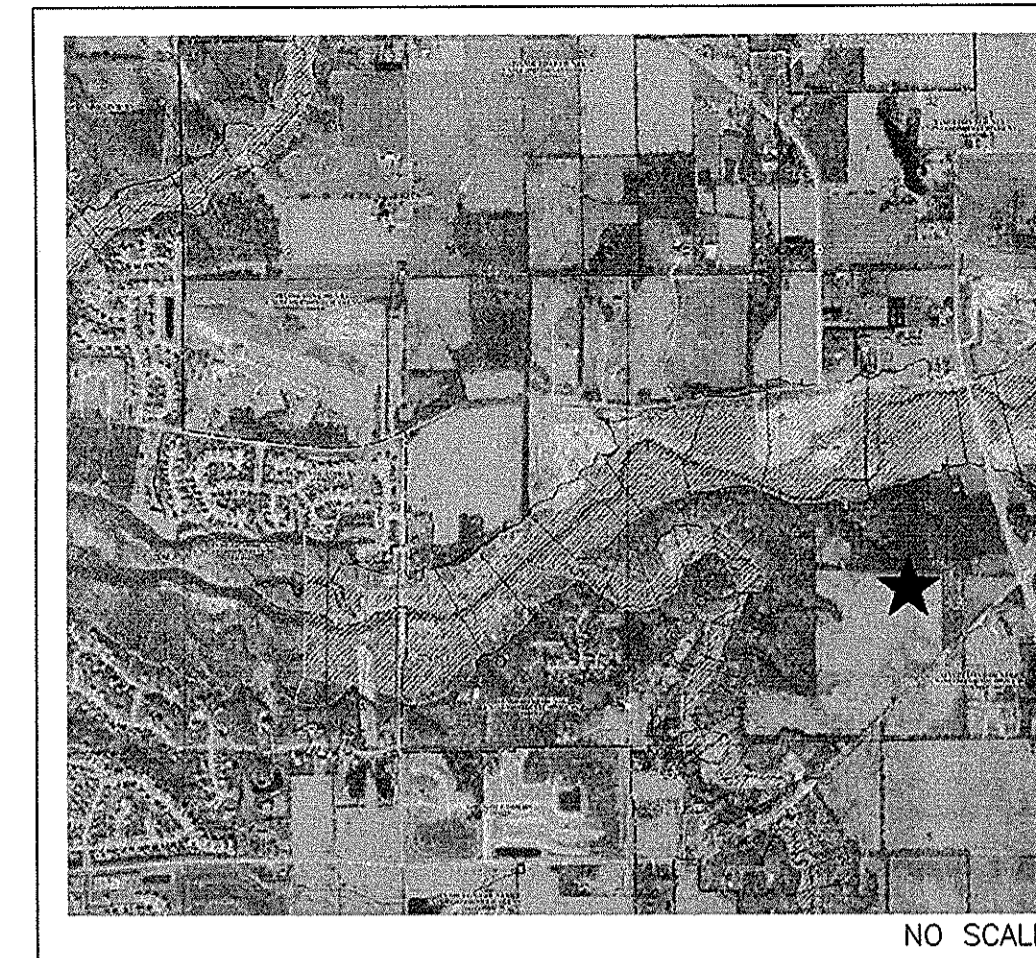
JOSEPH TRTAN, LS21500003



LATITUDE: 39°57'01" N, LONGITUDE: 85°52'09" W



SITE MAP



F.E.M.A. F.I.R.M.

SHEET INDEX

SHEET NO.	DESCRIPTION
C001	TITLE SHEET
C100	EXISTING CONDITIONS / DEMOLITION PLAN
C200	STORMWATER POLLUTION PREVENTION PLAN PHASE 1
C201	STORMWATER POLLUTION PREVENTION PLAN PHASE 2
C202-C203	STORMWATER POLLUTION PREVENTION DETAILS & SPECS-
C300	DEVELOPMENT PLAN
C301	POND LIMITS/FLOOD ROUTE PLAN-
C400-C401	STREET PLAN & PROFILE/INTERSECTION DETAILS-
C402	TRAFFIC CONTROL/SIGNAGE/STREET LIGHT/SUMP PLAN-
C403-C406	STREET DETAILS & SPECIFICATIONS-
C500	SANITARY SEWER PLAN & PROFILE-
C501-C502	SANITARY SEWER DETAILS & SPECIFICATIONS-
C600	STORM SEWER PLAN & PROFILE
C601-C602	STORM SEWER DETAILS
C700	WATER MAIN PLAN
C701-C703	WATER MAIN DETAILS/SPECIFICATIONS-
L100	LANDSCAPE PLANS - STREET TREES-
L200	LANDSCAPE DETAILS-

NOTE:
THE HAMILTON COUNTY SURVEYOR'S OFFICE, HAMILTON COUNTY HIGHWAY DEPARTMENT, HSE UTILITIES, AND FORTVILLE WATER STANDARDS SHALL BE INCORPORATED BY REFERENCE INTO THESE PLANS.

SITE DATA

STREET LENGTHS:	
CLIFFSIDE DRIVE	680.09 L.F. ±
SONG CREEK COURT	84.78 L.F. ±
TOTAL	764.85 L.F. ±
NOTE: DESIGN SPEED FOR ALL INTERIOR ROADS SHALL BE 25 MPH.	
SITE AREA:	
SITE	15.71 AC. ±
LOTS	24

PLANS PREPARED FOR

REPUBLIC DEVELOPMENT
NORTH CONNECTICUT DEVELOPMENT CORP.
13578 EAST 131st STREET, SUITE 200
FISHERS, IN 46037
TELEPHONE: 317-770-1818
CONTACT PERSON: DOUG WAGNER

PLANS PREPARED BY

WEIHE ENGINEERS, INC.
10505 N. COLLEGE AVE.
INDIANAPOLIS, IN 46280
(317) 846-6611
CONTACT PERSON: ALVIN (RUSTY) SKOOG



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10505 N. College Avenue
Indianapolis, Indiana 46280
weihe.net
317 | 846 - 6611
800 | 452 - 6408
317 | 843 - 0346 fax

WEIHE ENGINEERS
Land Surveying | Civil Engineering
Landscape Architecture

PROJECT NO.: W16.0073
DWG NAME: 00 C001 Title Sheet
DISCUSS BY: MEN
DRAWN BY: MEN
CHECKED BY: MJS
DATE: 03.30.2016

REGISTERED PROFESSIONAL ENGINEER
No. PE68880573
STATE OF INDIANA
ALVIN E. SKOOG JR., P.E. 68880573

PREPARED FOR:
THE VILLAGE AT FLAT FORK SECTION TWO
NORTH CONNECTICUT DEVELOPMENT CORP.
TITLE SHEET
Part of the 28.000 / 14 of Section 16, Township 17 North, Range 6 East, Fall Creek Township, Hamilton County, Indiana

SHEET NO.
C001
PROJECT NO.
W16.0073

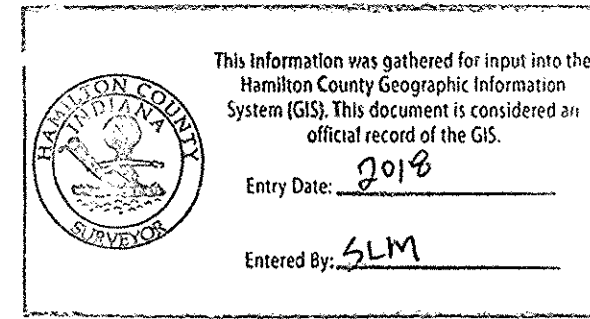
RECORD DRAWING
DEVELOPMENT PLAN AS-BUILTS
PADS AND SWALES ONLY
11/14/2017

JOSEPH TRTAN, LS21500003



GENERAL NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, OR VERIFYING THAT ALL PERMITS AND APPROVALS ARE OBTAINED FROM THE RESPECTIVE CITY, COUNTY, AND STATE AGENCIES PRIOR TO STARTING CONSTRUCTION.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY AND COORDINATE CONSTRUCTION WITH ALL RESPECTIVE UTILITIES.
3. ALL QUANTITIES GIVEN ON THESE PRINTS ARE ESTIMATES AND SHALL BE CONFIRMED BY THE BIDDING CONTRACTORS.
4. TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION TO CONFORM TO APPLICABLE LOCAL STANDARDS.
5. BEARINGS, DIMENSIONS, AND EASEMENTS ARE SHOWN FOR REFERENCE ONLY. SEE RECORD SURVEYS AND PLATS FOR EXACT INFORMATION.
6. ALL SIDEWALKS TO BE 5'-0" WIDE AND INSTALLED AS SHOWN ON THIS PLAN.
7. 2" ROLLED CURB & GUTTER SHALL BE INSTALLED THROUGHOUT ENTIRE PROJECT AS SHOWN.
8. A HANDICAPPED RAMP IS TO BE INSTALLED AT ALL LOCATIONS WHERE A SIDEWALK IS SHOWN INTERSECTING A CURB - SEE DETAIL.
9. ANY DRAINAGE TILE SYSTEM COMING ONTO PROPERTY SHALL BE CONNECTED INTO THE PROPOSED DRAINAGE SYSTEM IN ORDER TO MAINTAIN POSITIVE DRAINAGE FOR THE OFFSITE SYSTEM.
10. REFER TO THE INDIANA DEPARTMENT OF TRANSPORTATION (INDOT) STANDARD SPECIFICATIONS, LATEST EDITION WITH SUPPLEMENTS, FOR BASIC MATERIALS AND CONSTRUCTION METHODS. FILL MATERIAL SHALL CONSIST OF EARTH OBTAINED FROM CUT AREAS, BORROW PITS OR OTHER APPROVED SOURCES. EARTH SHALL BE FREE FROM ORGANIC MATTER AND OTHER DELETERIOUS SUBSTANCES AND LARGE ROCKS. THE FILL MATERIAL SHALL BE PLACED IN LAYERS NOT TO EXCEED SIX INCHES FOLLOWING COMPACTION. PROPER MOISTURE CONTENT OF FILL MATERIAL WILL BE SUCH TO ACHIEVE SPECIFIED COMPACTION DENSITY. ALL FILL BENEATH PAVED AREAS, FLOOR SLABS AND FUTURE BUILDINGS SHALL BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY PER ASTM D-1557. FIELD COMPACTION TEST SHALL BE RUN ON EACH LIFT, IN FILL SECTIONS, AND THE REQUIRED COMPACTION ON EACH LIFT SHALL BE IN ACCORDANCE WITH INDOT SECTION 211.
11. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES TO LOCATE MAINS, CONDUITS, SERVICE LINES, ETC. IN THE AFFECTED CONSTRUCTION AREA. EXISTING UTILITY STRUCTURES ARE SHOWN HERE IN ACCORDANCE WITH AVAILABLE INFORMATION. THE LOCATION AND PROTECTION OF UTILITY STRUCTURES, THEIR SUPPORT AND MAINTENANCE DURING CONSTRUCTION (IN COOPERATION WITH APPLICABLE UTILITY COMPANY) IS THE EXPRESSED RESPONSIBILITY OF THE CONTRACTOR.
12. ALL SPOT ELEVATIONS ARE TO FINISHED GRADE.
13. ALL GRADES AT BOUNDARY SHALL MEET EXISTING.
14. ANY PART OF SANITARY OR STORM SEWER TRENCHES RUNNING UNDER OR WITHIN 5' OF PAVEMENT TO BE BACKFILLED WITH GRANULAR MATERIAL.
15. ALL CONSTRUCTION ON THIS SITE TO BE PERFORMED IN COMPLIANCE WITH O.S.H.A. STANDARDS FOR WORKER SAFETY.
16. THE CONTRACTOR SHALL CONFIRM ALL EARTHWORK QUANTITIES PRIOR TO THE START OF CONSTRUCTION. IF AN EXCESS OR SHORTAGE OF EARTH IS ENCOUNTERED, THE CONTRACTOR SHALL CONFIRM WITH THE OWNER AND ENGINEER THE REQUIREMENTS FOR STOCKPILING, REMOVAL OR IMPORTING OF EARTH.
17. PROVIDE POSITIVE DRAINAGE WITHOUT PONDING IN ALL AREAS AFTER INSTALLATION. CONTRACTOR TO TEST FOR AND CORRECT ANY PONDING CONDITIONS.
18. ALL 6" SSD SHALL BE DOUBLE WALL SMOOTH BORE PIPE. (SEE HAMILTON COUNTY STANDARD DETAILS).
19. THE FINISHED FLOOR GRADE FOR EACH LOT MUST BE 6" ABOVE PAD, CENTER OF LOT, M.F.P.G. OR M.F.F.E., WHICHEVER IS HIGHEST.
20. UNLESS APPROVED OTHERWISE BY HSE, THE FINISHED FLOOR ELEVATIONS ON A PLOT PLAN FOR A LOT IN THIS DEVELOPMENT CANNOT EXCEED THE CORRESPONDING MINIMUM FINISH FLOOR ELEVATION (M.F.F.E.) SHOWN HEREIN BY MORE THAN FIVE TENTHS (0.50) FOOT.
21. CONTRACTOR SHALL STAMP THE LETTER "S" IN THE CURB PERPENDICULAR TO THE LATERAL MARKER.

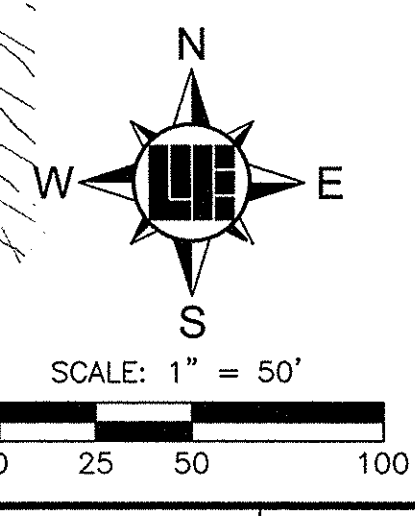
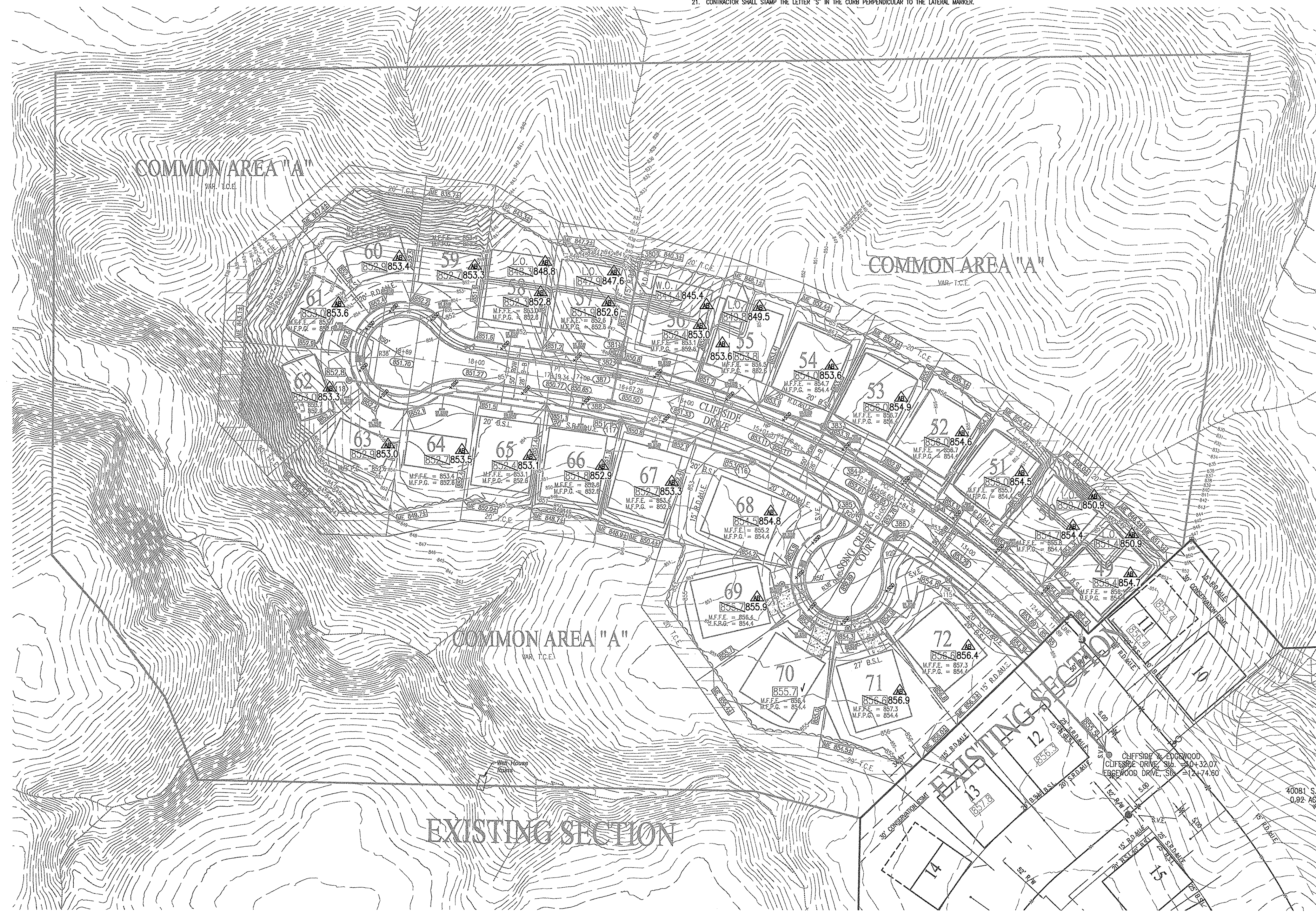


LEGEND

	= RIGHT-OF-WAY LINE
	= STORM SEWER LINE
	= SWALE
	= SANITARY SEWER LINE
	= SANITARY SEWER MANHOLE
	= SANITARY SEWER LATERAL
	= FLOW DIRECTION
	= EXISTING SPOT ELEVATION
	= EXISTING CONTOURS
	= PROPOSED ELEVATION
	= STORM INLET
	= STORM INLET VALVE
	= TREE HYDRANT WITH VALVE
	= FREE VALVE
	= REDUCER
	= BLOW-OFF VALVE
	= TOP OF CASTING
	= INVERT
	= REINFORCED CONCRETE PIPE
	= MANHOLE
	= STRUCTURE
	= REGULATED DRAINAGE AND UTILITY EASEMENT
	= SANITARY/REGULATED DRAINAGE AND UTILITY EASEMENT
	= SIGHT VISIBILITY EASEMENT
	= SANITARY SEWER
	= BUILDING SETBACK LINE
	= HANDICAP RAMP
	= MATCH EXISTING GRADE
	= SUBSURFACE DRAIN AND SUMP LINE
	= STORM SEWER
	= GRANULAR BACKFILL
	= CONCRETE END SECTION
	= SUBSURFACE DRAIN
	= SANITARY SEWER PIPE (30R-35)
	= SANITARY SEWER PIPE (TYPICAL)
	= TYPICAL (UNLESS OTHERWISE NOTED)
	= PROPOSED
	= EXISTING
	= RADIUS
	= FULL PAD ELEV (55'x65')
	= (ALL HALF PADS 55'x32.5')
	= VARIABLE WIDTH
	= A.D.A. RAMP
	= TREE CONSERVATION AREA
	= TREE CONSERVATION EASEMENT
	= MINIMUM FLOOD PROTECTION GRADE
	= MINIMUM FINISH FLOOR ELEVATION

BENCHMARK INFORMATION

- SOURCE BENCHMARK
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weihe.net
317 | 846 - 6611
800 | 452 - 6408
317 | 843 - 0546 fax
ALLAN H. WEIHE, P.E., L.S. - FOUNDER

PROJECT NO.: 16073
DATE: 03/30/2016

DESIGNED BY: MEN
DRAWN BY: AES
CHECKED BY: AES

REVISIONS AND ISSUES

ALVIN E. SKOOG JR., P.E. 60888573

REGISTERED PROFESSIONAL ENGINEER
STATE OF INDIANA

PREPARED FOR:
THE VILLAGE AT FLAT FORK SECTION TWO
NORTH CONNECTICUT DEVELOPMENT CORP.

DEVELOPMENT PLAN

SHEET NO.
C300

PROJECT NO.
W16.0073

LOCATION: 16073 (W16.0073) Section A2 (Engineering) (Design) (Submittal) (AS-BUILT) (Development) (Planning)
DATE: 11/14/2017
SCALE: 1" = 50'
PLOT: 16073 (W16.0073) Section A2 (Engineering) (Design) (Submittal) (AS-BUILT) (Development) (Planning)
PLOTED BY: pml

STRUCTURE NUMBER	STRUCTURE TYPE	TOP OF CASTING	CASTING TYPE	INVERT
380	CONCRETE END SECTION	841.25	N/A	INV IN = 840.00(S) INV OUT = 840.00(S)
381	MANHOLE	850.90	NEENAH R-1772	INV IN = 846.00(S) INV OUT = 840.82(N)
382	MANHOLE	850.79	NEENAH R-1772	INV IN = 848.25(S) INV IN = 846.25(E) INV OUT = 846.15(N)
383	MANHOLE	850.80	NEENAH R-1772	INV IN = 848.11(SE) INV OUT = 848.01(W)
384	DOUBLE CURB INLET	852.65	NEENAH R-3501-TL	INV IN = 848.54(S) INV OUT = 848.44(NW)
385	INLET TYPE J	852.55	NEENAH R-3501-TR	INV IN = 848.75(SE) INV OUT = 848.65(N)
386	INLET TYPE J	852.88	NEENAH R-3501-TL	INV OUT = 848.90(NW)
387	DOUBLE CURB INLET	850.55	NEENAH R-3501-TR	INV IN = 846.46(S) INV OUT = 846.38(N)
388	DOUBLE CURB INLET	850.55	NEENAH R-3501-TL	INV OUT = 846.58(N)

FOR WATER QUALITY UNIT DETAIL (SEE SHT. C802)

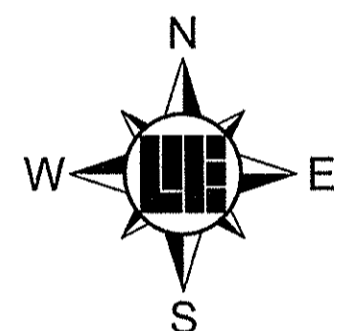
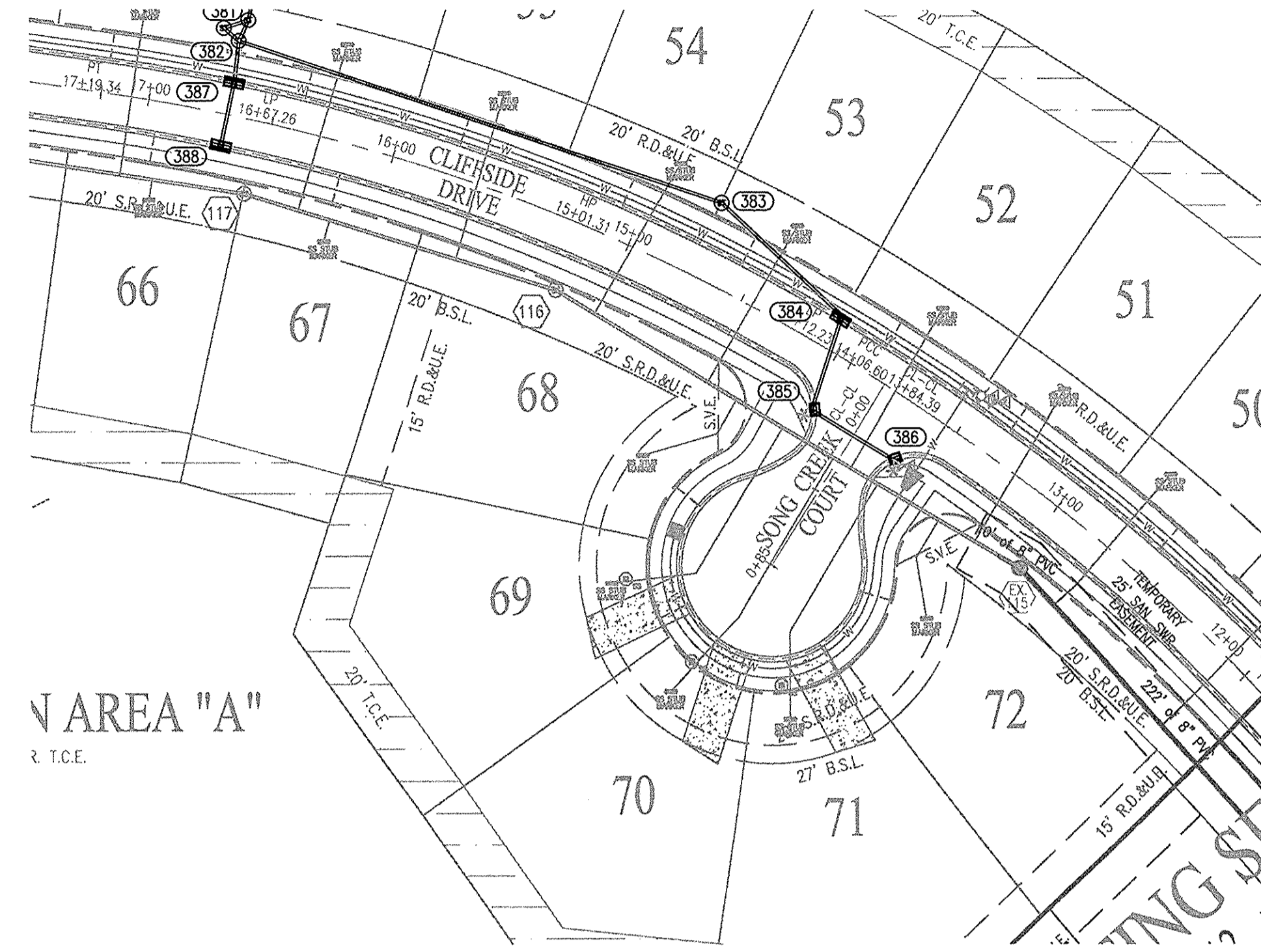
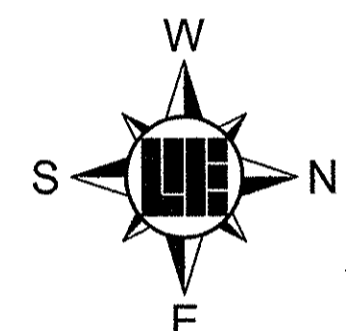
DOWNSTREAM STRUCTURE	UPSTREAM STRUCTURE	SIZE	MATERIAL	LENGTH	SLOPE
381	380	21"	RCP	82'	1.00%
382	381	21"	RCP	11'	1.36%
383	382	18"	RCP	201'	0.88%
384	383	18"	RCP	65'	0.51%
385	384	15"	RCP	37'	0.30%
386	385	12"	RCP	41'	0.37%
387	382	15"	RCP	13'	0.85%
388	387	15"	RCP	28'	0.32%

RECORD DRAWING
STORM SEWER AS-BUILTS
STORM SEWER STRUCTURES ONLY
11/14/2017

JOSEPH TRTAN, LS21500003

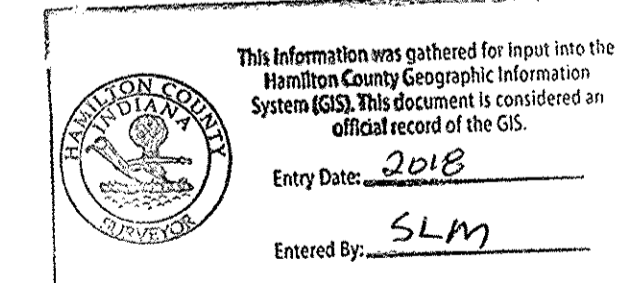
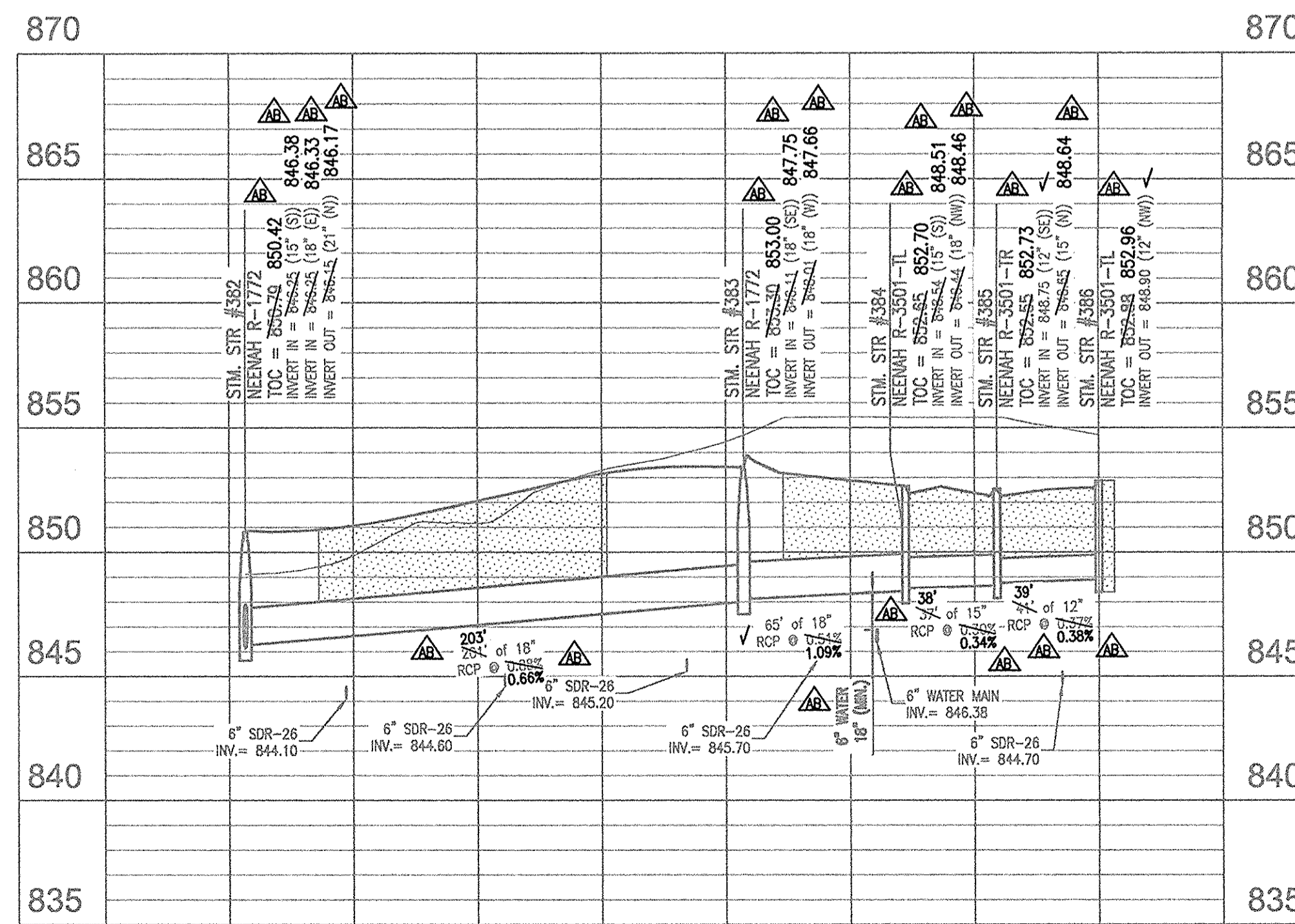
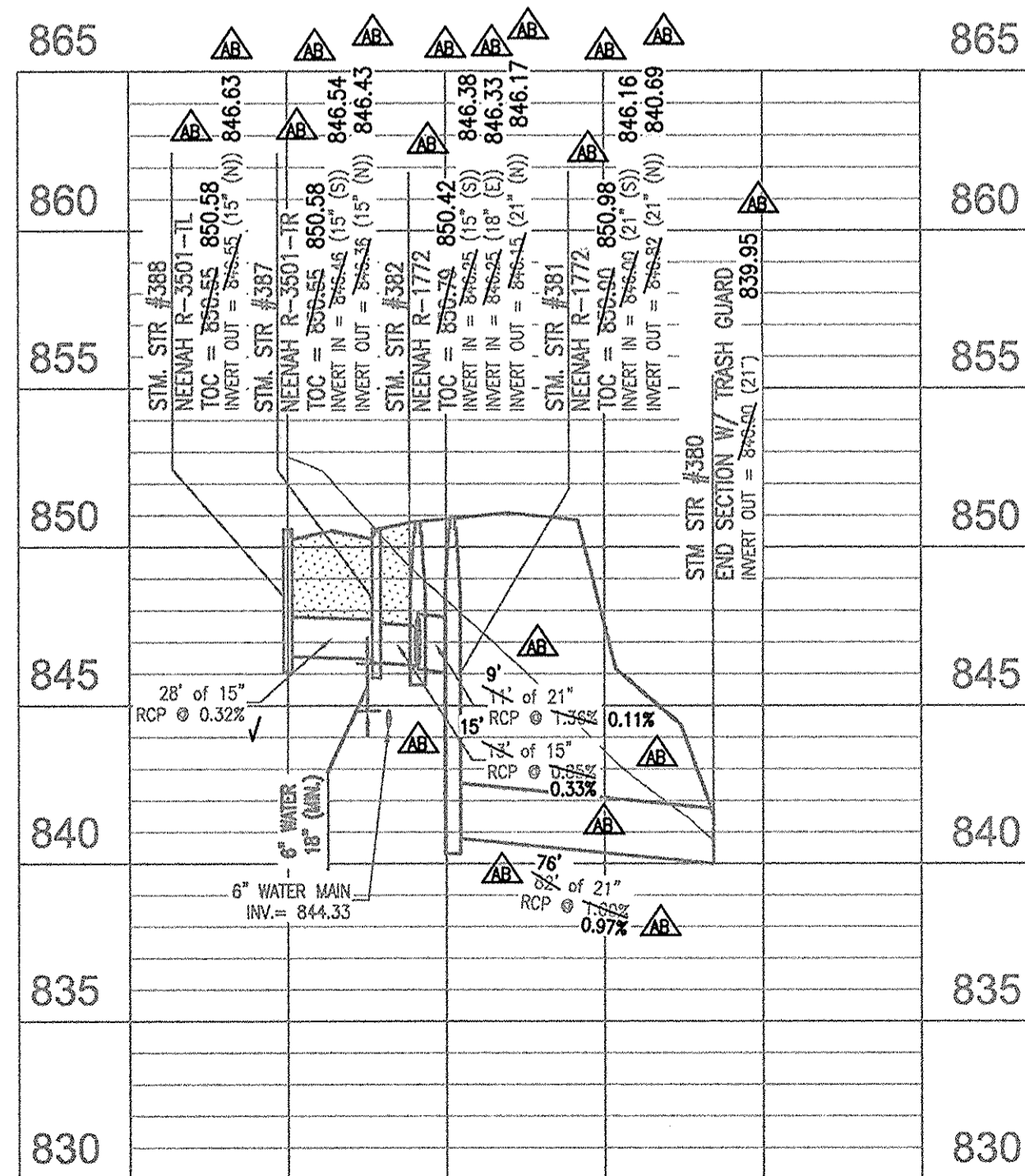


- AS-BUILT INFORMATION
- BUILT AS PLANNED



NOTE:
GRANULAR BACKFILL REQUIRED WHERE TRENCH OPENING ENROACHES TO WITHIN 5'-0" OF SIDEWALK OR PAVEMENT.

NOTE:
EXCEPT FOR FORCE MAINS, CONTRACTOR TO INSTALL CONCRETE CRADLES WHEN THE VERTICAL SEPARATION (AS MEASURED FROM THE EXTERIOR OF THE PIPES) BETWEEN SANITARY SEWER FACILITIES AND STORM SEWERS IS 18" OR LESS



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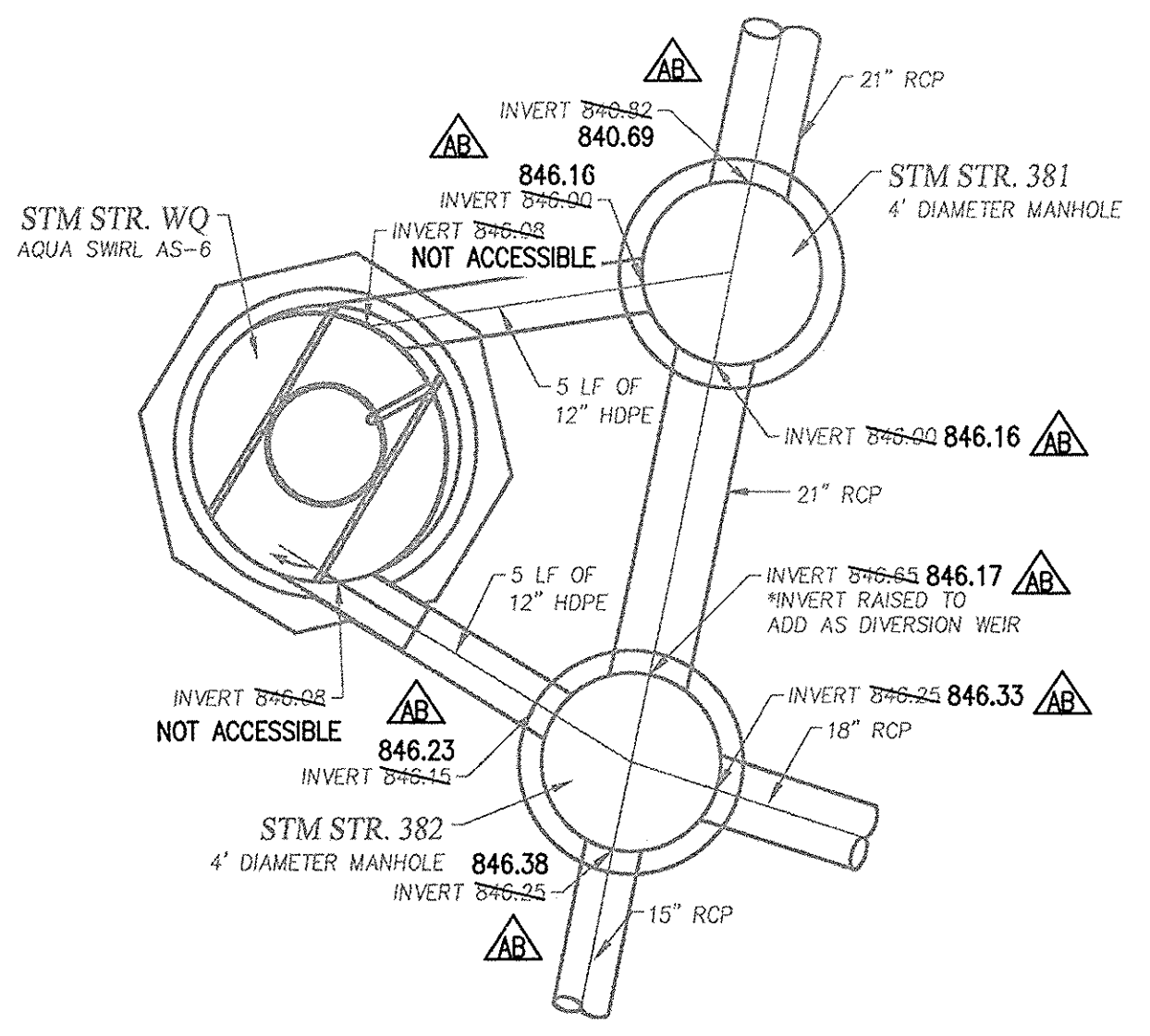
PROJECT NO.: W16.0073
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DESIGNED BY: JET
DRAWN BY: JET
CHECKED BY: JET
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PREPARED FOR:
THE VILLAGE AT FLAT FORK SECTION TWO
NORTH CONNECTICUT DEVELOPMENT CORP.
STORM PLAN AND PROFILE

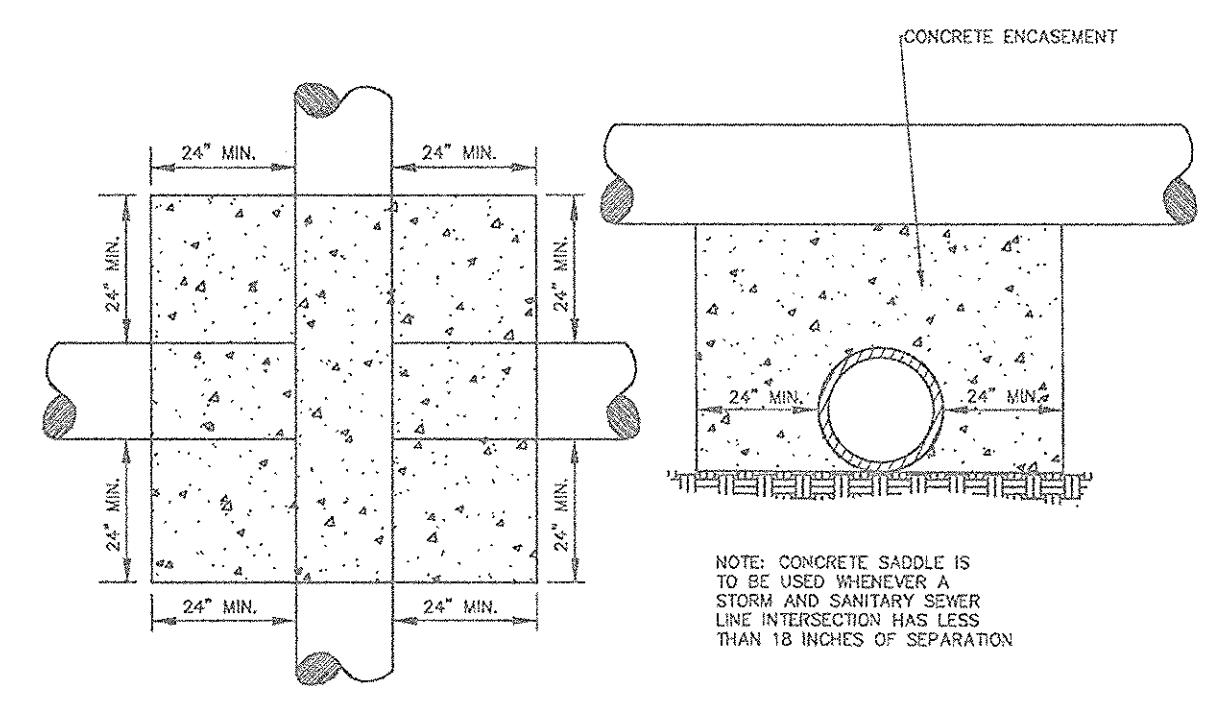
ENTERED BY: SLM

PROJECT NO.: W16.0073

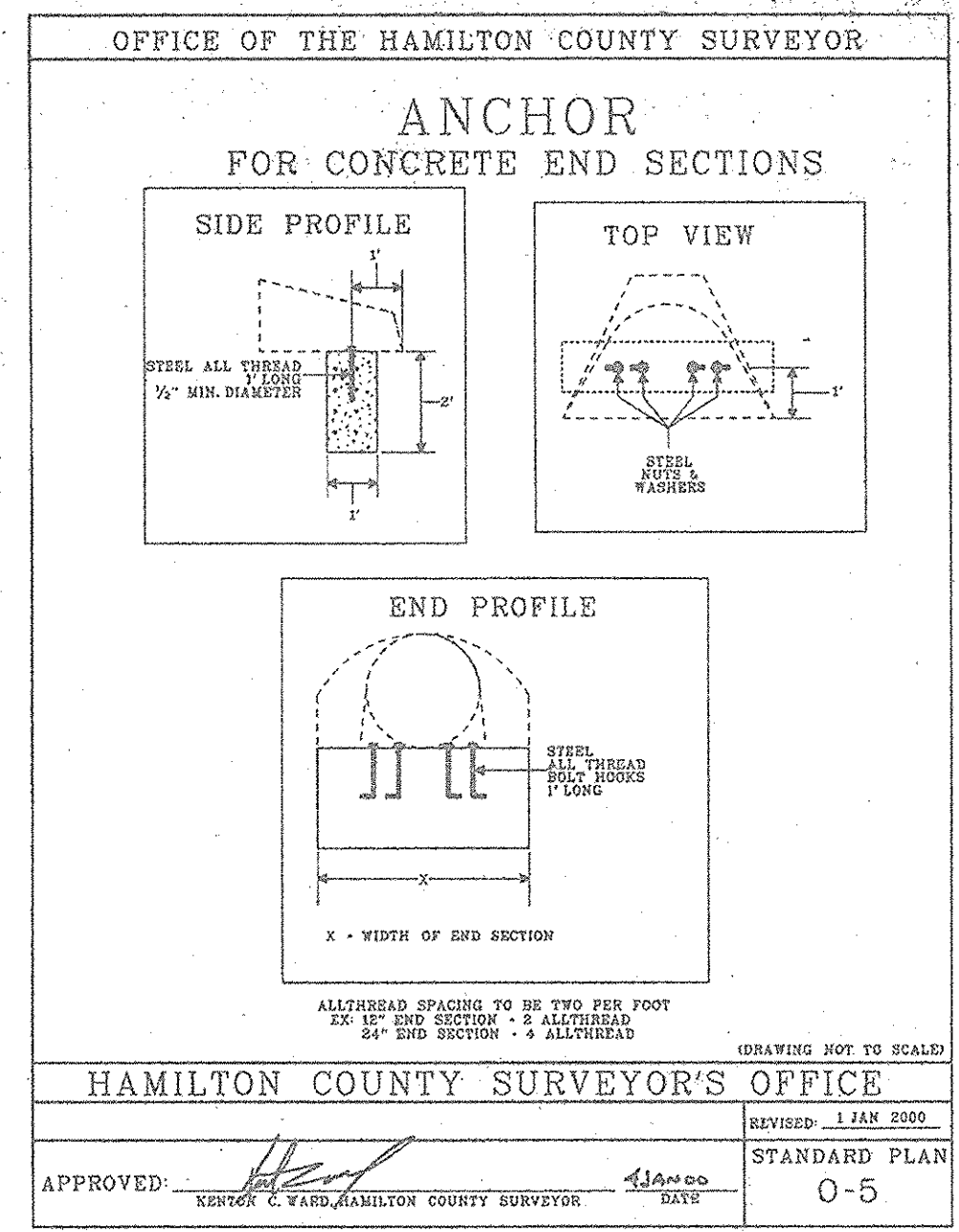
LOCATION: H:\2016\W160073\Section 42\Engineering\Drawings\Submittal\AS-Built\Storm Plan.dwg
 DATE: 11/14/2017 11:11am
 PLOTTED BY: jtrtan



MECHANICAL WATER QUALITY UNIT DETAIL
OFFLINE DOWNSTREAM DEFENDER

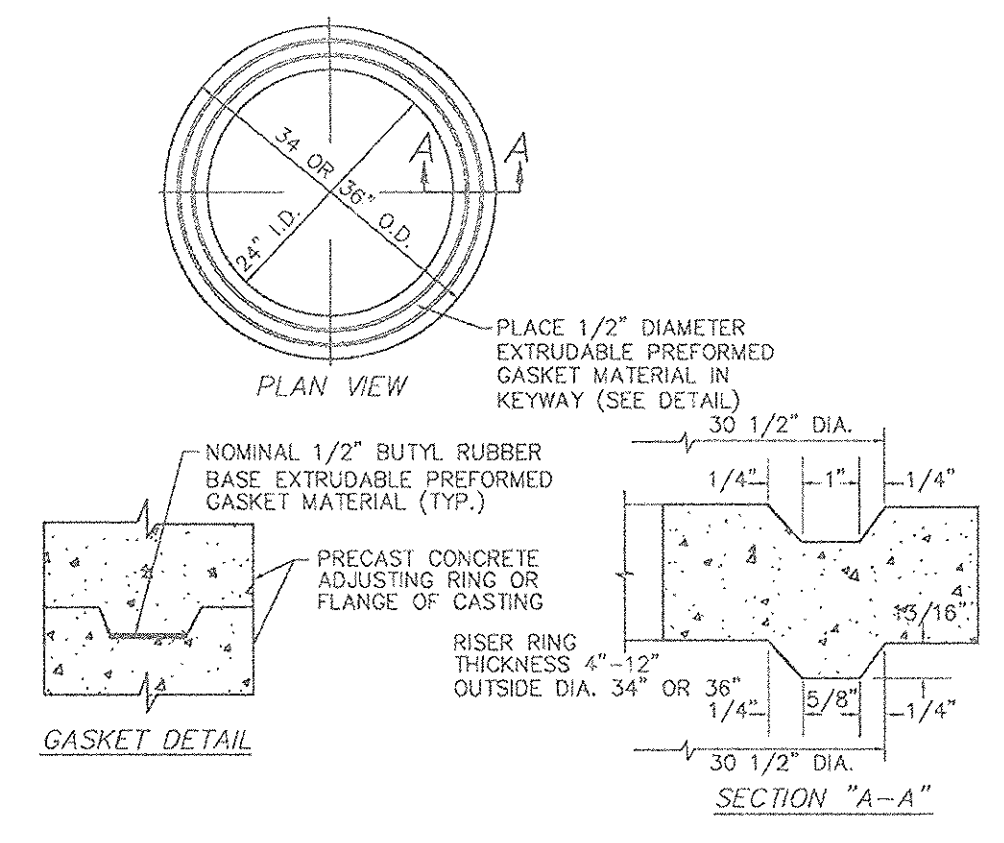


CONCRETE SADDLE BETWEEN
STORM AND SEWER PIPES
(NO SCALE)

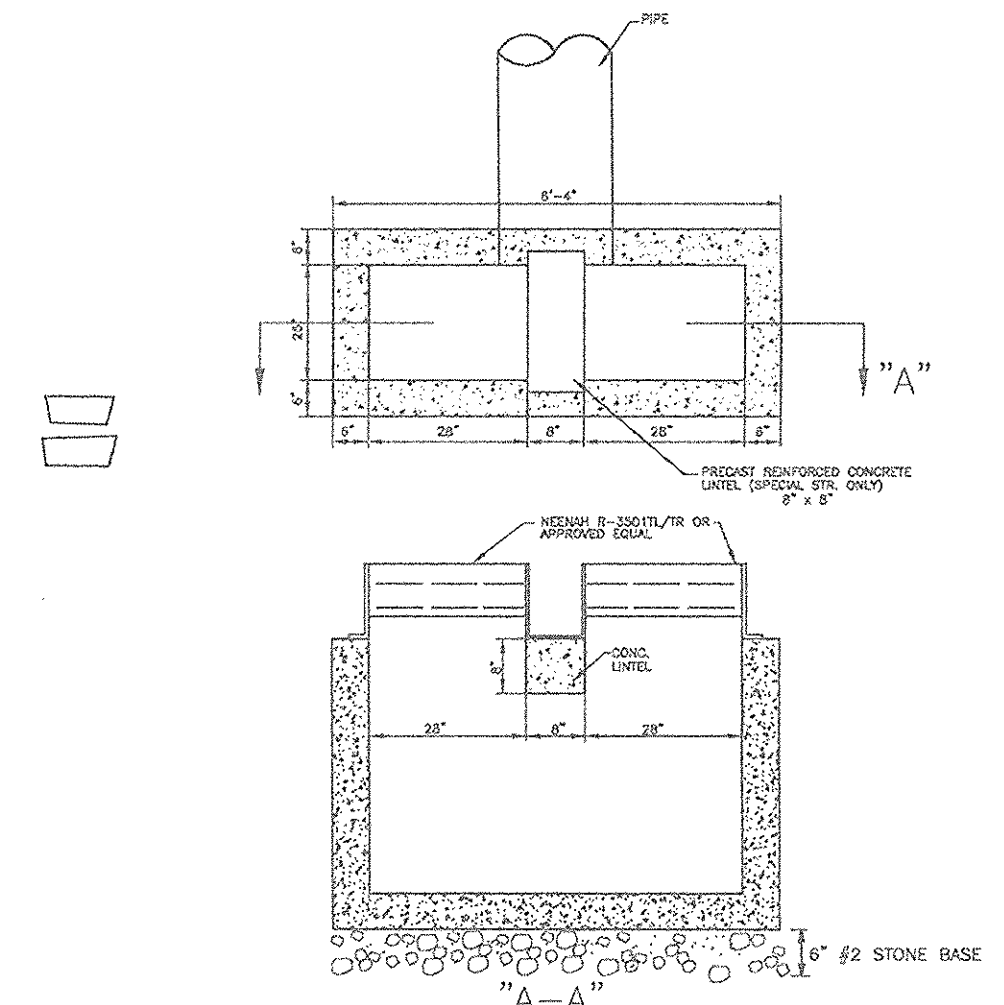


HAMILTON COUNTY SURVEYOR'S OFFICE
APPROVED: [Signature]
REVISION: 1 JAN 2000
STANDARD PLAN 0-5

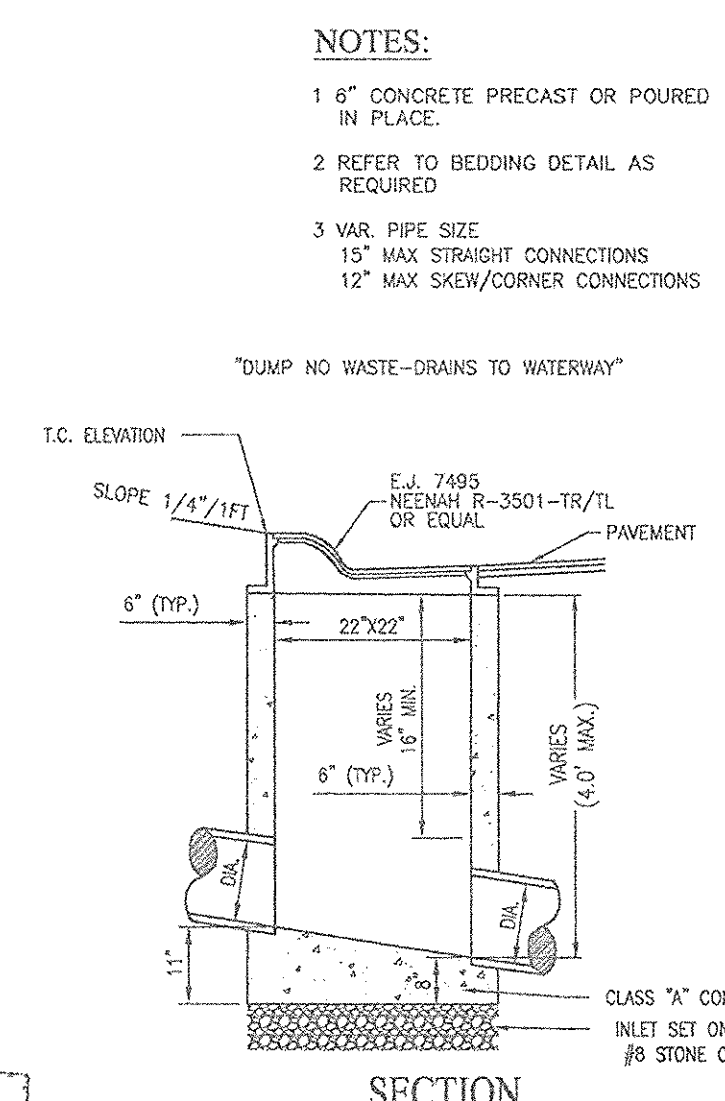
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Entry Date: 2018
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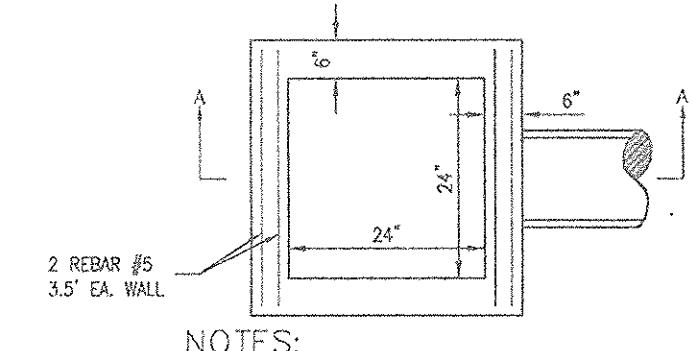
ADJUSTING RING DETAIL
(NO SCALE)



DOUBLE CURB INLET
STRUCTURE DETAIL
(NO SCALE)

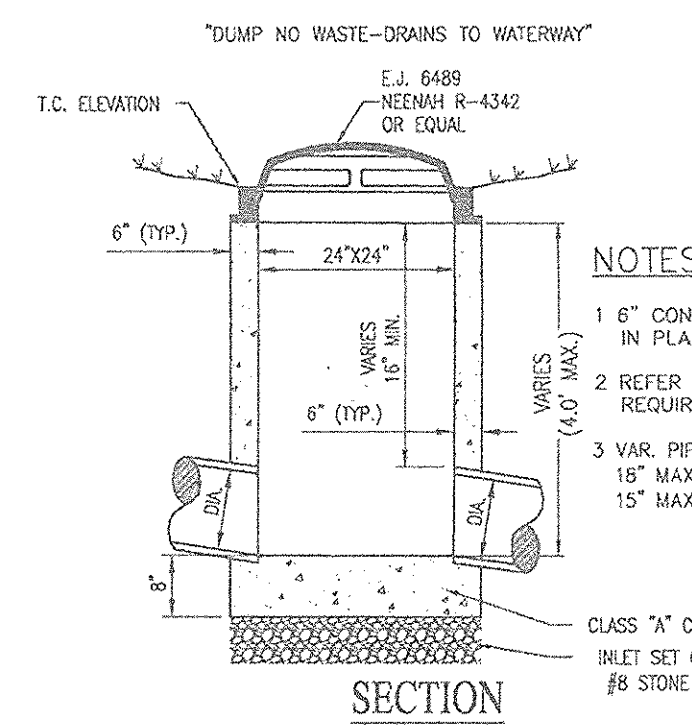


CURB INLET TYPE "A"
PIPE SIZES 12" TO 15"
(NO SCALE)



NOTES:

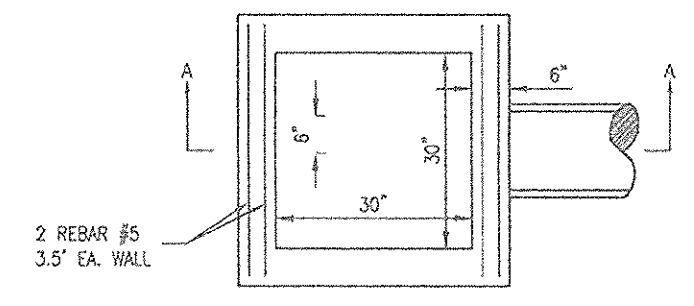
- 1 6" CONCRETE PRECAST OR POURED IN PLACE.
- 2 REFER TO BEDDING DETAIL AS REQUIRED
- 3 VAR. PIPE SIZE
- 15" MAX STRAIGHT CONNECTIONS
- 15" MAX SKEW/CORNER CONNECTIONS



NOTES:

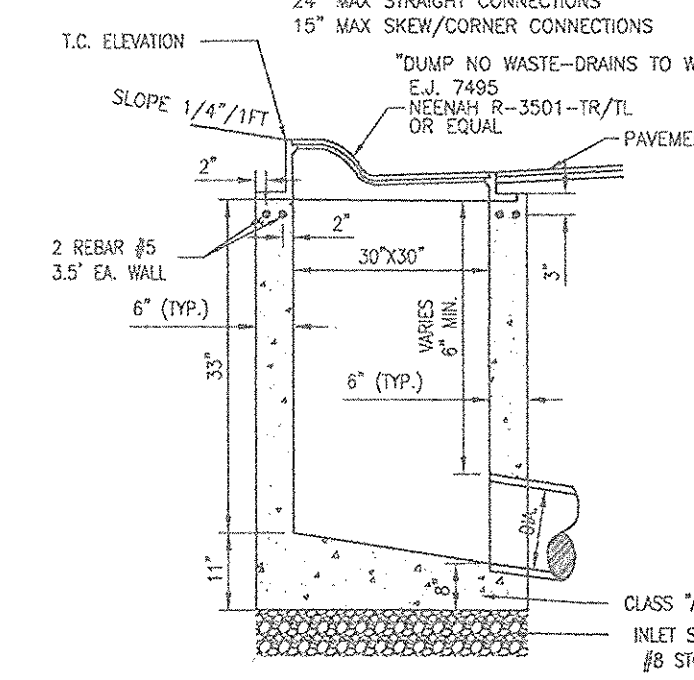
- 1 6" CONCRETE PRECAST OR POURED IN PLACE.
- 2 REFER TO BEDDING DETAIL AS REQUIRED
- 3 VAR. PIPE SIZE
- 15" MAX STRAIGHT CONNECTIONS
- 15" MAX SKEW/CORNER CONNECTIONS

BEEHIVE INLET TYPE "A" (MODIFIED)
PIPE SIZES 15" TO 18"
(NO SCALE)



NOTES:

- 1 6" CONCRETE PRECAST OR POURED IN PLACE.
- 2 REFER TO BEDDING DETAIL AS REQUIRED
- 3 VAR. PIPE SIZE
- 24" MAX STRAIGHT CONNECTIONS
- 15" MAX SKEW/CORNER CONNECTIONS



SECTION A-A

1. STRAIGHT-OUT CONNECTIONS SHOULD NOT BE MADE TO EITHER PRECAST BOX OR INLET WALL TOUCHED BY A SKEW/CORNER CONNECTION UNLESS SUFFICIENT BOX INLET WALL AREA REMAINS ON EACH SIDE OF THE CONNECTING PIPE TO ENSURE STRUCTURAL INTEGRITY OF THE PRECAST BOX.
2. A MAXIMUM OF TWO (2) SKEW/CORNER CONNECTIONS WILL BE ALLOWED FOR EACH PRECAST BOX INLET.
3. REFER TO PRECAST CONCRETE ADJUSTING RING DETAIL AS REQUIRED.

CURB INLET TYPE "E"
(NO SCALE)

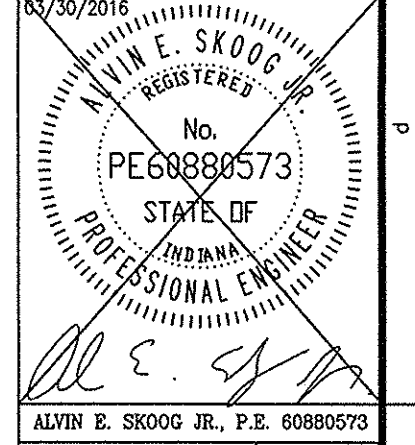
10505 N. College Avenue
Indianapolis, Indiana 46280
wehhe.net
317 | 846 - 6611
800 | 452 - 6408
317 | 843 - 0546 / fax
ALLAN H. WEHHE, P.E., L.S. - FOUNDER

WEHHE ENGINEERS
Land Surveying | Civil Engineering
Landscape Architecture

PROJECT NO.:	W16.0073
DWG NAME:	Storm
DESIGNED BY:	MEH
DRAWN BY:	MEH
CHECKED BY:	ACS
DATE:	03-30-2016

REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION

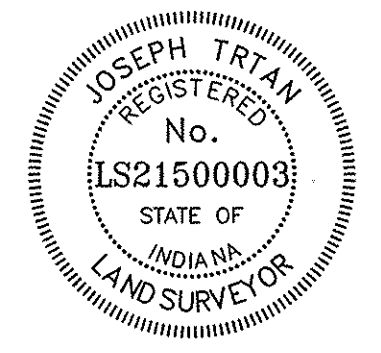


ALVIN E. SKOOG JR., P.E. 60880073

PREPARED FOR:
THE VILLAGE AT FLAT FORK SECTION TWO
NORTH CONNECTICUT DEVELOPMENT CORP.
STORM SEWER DETAILS
Part of the 316.08 1/4 of Section 16, Township 17 North, Range 6 East, Put On File, Hamilton County, Indiana.

SHEET NO.
C602
PROJECT NO.
W16.0073

RECORD DRAWING
11/14/2017
JOSEPH TRTAN, LS21500003



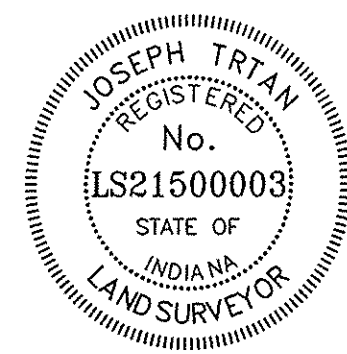
RECORD DRAWING

STORM SEWER AS-BUILTS
STORM SEWER STRUCTURES ONLY
11/14/2017

Joe Tolo

JOSEPH TRTAN, LS21500003

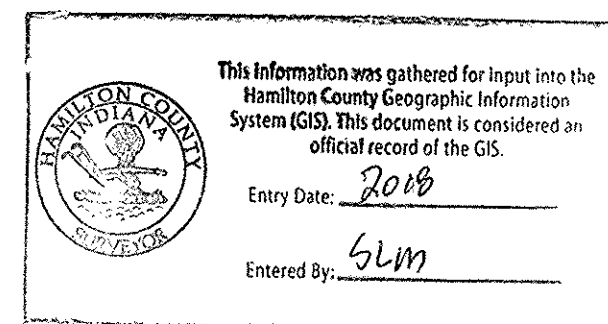
*WATER LATERALS NOT INSTALLED



- AS-BUILT INFORMATION
- BUILT AS PLANNED
- AS-BUILT WATER METER
- AS-BUILT TEE
- AS-BUILT FIRE HYDRANT
- AS-BUILT WATER VALVE
- AS-BUILT SLEEVE
- AS-BUILT BLOW OFF
- AS-BUILT REDUCER

LEGEND

- Existing WATER MAIN
- Proposed WATER MAIN
- Existing Hydrant with Hydrant Valve
- Hydrant with Hydrant Valve
- Valve
- Tee
- Cross
- Reducer
- D.I.P. Ductile Iron Pipe
- 1" Type K Copper or poly w/ double meter pit
- 3/4" Type K Copper or Poly w/ single meter pit
- Water Lateral As-Built Location

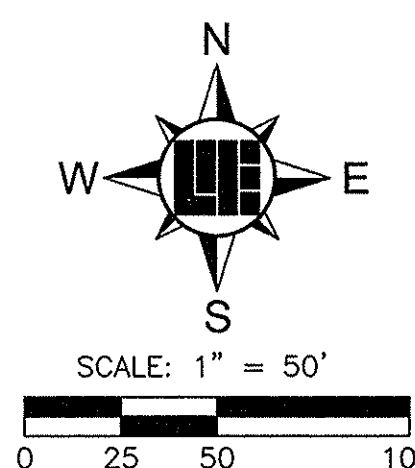


WATER MAIN NOTES:

1. ALL FIRE HYDRANTS SHALL BE PAINTED PER FORTVILLE SPECIFICATIONS AND STANDARDS.
2. FIRE HYDRANTS SHALL HAVE 5 INCH STORZ'S CONNECTION (APPROVED BY FISHERS FIRE DEPARTMENT).
3. IF WATER MAIN IS 12 INCHES OR SMALLER, THEN C900 PIPE CAN BE USED.
4. MAIN SHALL BE BEDDED WITH SAND 6 INCHES UNDER AND 12 INCHES OVER THE PIPE WITH MARKING TAPE INSTALLED 2 FEET ABOVE THE WATER MAIN.
5. NUMBER TEN (#10) GAUGE LOCATING WIRE SHALL BE TAPED TO THE TOP OF THE MAIN AND PULLED THROUGH ALL VALVE BOXES (TO THE SURFACE) FOR LOCATING PURPOSES.
6. IF DUCTILE PIPE IS USED, THE MAIN MUST BE POLY WRAPPED.
7. CONTRACTOR MUST PROVIDE REDLINE "AS-BUILT" MARK-UPS TO ENGINEER OR ALL BENDS AND TEES MUST BE LOCATED WITH 2X4 BOARD PAINTED BLUE.
8. ALL PROPOSED ROAD CROSSINGS MUST BE FULLY BACKFILLED WITH A GRANULAR BACKFILL MATERIAL.
9. ALL TEMPORARY FIRE HYDRANTS TO BE INSTALLED WITH VALVES.
10. ALL VALVES MUST HAVE POSI-CAP INSTALLED AND HAVE STAINLESS STEEL STEMS.
11. WATER MAIN MUST MEET CURRENT FORTVILLE WATER DETAILS AND SPECIFICATIONS.
12. ALL WATER MAIN JOINTS TO BE RESTRAINED PER FORTVILLE WATER STANDARDS.
13. WATER SERVICE LATERALS AND WATER METER PITS ARE SHOWN FOR LOCATION ONLY. WATER SERVICE LATERALS AND WATER METER PITS WILL BE INSTALLED BY THE HOME BUILDERS AT THE TIME OF THE HOUSE CONSTRUCTION.
14. NO WATER VALVES ARE TO BE PLACED WITHIN THE LIMITS OF THE STREET.
15. CONTRACTOR TO SUPPLY SHOP DRAWINGS TO THE TOWN OF FORTVILLE PRIOR TO CONSTRUCTION.
16. INSTALLATION OF INDOT APPROVED SNOW/PLOWABLE RAISED PAVEMENT MARKERS SHALL COMPLY WITH SECTIONS 800 & 900 OF THE MOST RECENT REVISION OF THE INDOT SPECIFICATIONS AND STANDARD DRAWINGS. UNDER NO CIRCUMSTANCE SHALL A REFLECTOR BE ATTACHED TO THE PAVEMENT SURFACE USING ONLY ADHESIVE.
17. ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM OF 10'-0" OF SEPARATION BETWEEN THE MAIN AND SEWER STRUCTURES AND A MINIMUM OF 10'-0" OF SEPARATION BETWEEN WATER, SANITARY AND STORM PIPES.
18. WATER TAP FEES WILL BE PAID AT THE TIME OF ACQUIRING THE BUILDING PERMIT.

BENCHMARK INFORMATION

- SOURCE BENCHMARK**
HSE 38
A BRONZE DISK STAMPED "HAMILTON COUNTY GEODETIC CONTROL" SET IN THE NORTH END OF THE EAST CONCRETE HANDRAIL ON THE BRIDGE OVER FALL CREEK ON SOUTHEASTERN PARKWAY SOUTH OF 113TH STREET.
N=1714311.26
E=271886.09
EL=809.14 (NAVD 88)
- TBM - WOODS 1**
MAG NAIL SET WITH WASHER IN THE CURB ON THE EAST SIDE OF VERMILLION DRIVE, APPROXIMATELY 12' +/- SOUTH OF THE STORM INLET AT THE SOUTHWEST CORNER OF LOT 252 IN THE WOODS AT VERMILLION - SECTION ONE
N=1709211.04
E=271032.69
EL=861.40 (NAVD 88)
- TBM - RIDGE 1**
MAG NAIL SET WITH WASHER IN THE WALK ON THE WEST SIDE OF PORTAGE WOODS DRIVE, APPROXIMATELY 5' +/- NORTH AND 19' +/- WEST OF THE CENTERLINE INTERSECTION OF PORTAGE WOODS DRIVE AND HUNTING MEADOW DRIVE IN THE RIDGE AT VERMILLION - SECTION ONE
N=1712098.06
E=270413.43
EL=855.66 (NAVD 88)
- TBM - VILLAGE 1**
MAG NAIL SET IN THE WALK AT THE NORTHEAST CORNER OF CLIFFSIDE DRIVE AND BUCK RIDGE LANE, APPROXIMATELY 24' +/- NORTH OF THE CENTERLINE OF BUCK RIDGE LANE AND 21' +/- EAST OF THE CENTERLINE CLIFFSIDE DRIVE IN THE VILLAGE AT VERMILLION - SECTION ONE
N=1712107.64
E=271734.52
EL=857.24 (NAVD 88)
- TBM 2**
RAILROAD SPIKE SET IN THE WEST SIDE OF A UTILITY POLE LOCATED APPROXIMATELY 784' SOUTH OF THE NORTHEAST CORNER OF THE NORTHEAST QUARTER OF SECTION 8-T17N-R6E.
N=1709400
E=273165
EL=864.60 (NAVD 88)



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Landscape Architecture

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Indianapolis, Indiana 46280
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800 | 452 - 6408
317 | 843 - 0546/ax
ALLAN H. WEIHE, P.E., L.S. - FOUNDER

PROJECT NO.:	W16.0073
DWG NAME:	Water Main Plan
DESIGNED BY:	KEVIN
DRAWN BY:	MEN
CHECKED BY:	AKS
DATE:	03.30.2018

REVISIONS AND ISSUES

DATE: 03/30/2018

BY: ALVIN E. SKOOG, JR., P.E. 60880573

NO. PE68880573
STATE OF INDIANA
PROFESSIONAL ENGINEER

PREPARED FOR:
THE VILLAGE AT FLAT FORK SECTION TWO
NORTH CONNECTICUT DEVELOPMENT CORP.
WATER MAIN PLAN

SHEET NO. **C700**
PROJECT NO. **W16.0073**

LICENSE: LS 21500003, Section AS (Engineering/Geography/Verticality) AS, Consent/MS, C700, Water Main Plan
 LOCATION: C700 Water Main Plan
 DRAWING: W16.0073, 14, 2017 - 11:58pm
 PROJECT: W16.0073